



City of Petersburg Virginia

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Special City Council Meeting Agenda

**March 16, 2021
Union Train Station
103 River Street
12:00 PM**

City Council

Samuel Parham, Mayor – Ward 3
Annette Smith-Lee, Vice-Mayor – Ward 6
Treska Wilson-Smith, Councilor – Ward 1
Darrin Hill, Councilor – Ward 2
Charlie Cuthbert, Councilor – Ward 4
W. Howard Myers, Councilor – Ward 5
John A. Hart, Sr., Councilor – Ward 7

Interim City Manager
Kenneth Miller

-
1. **Roll Call**
 2. **Prayer**
 3. **Pledge of Allegiance**
 4. **Determination of the Presence of a Quorum**
 5. **Proclamations/Recognitions/Presentation of Ceremonial Proclamations**
 6. **Responses to Previous Public Information Posted**
 7. **Approval of Consent Agenda (to include minutes of previous meetings):**
 - a. Request for the City Council to schedule a public hearing regarding a Proposal to Purchase and Develop nine (9) parcels of City-owned property and, consideration of an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.
 - b. Minutes of February 16, 2021 Special City Council Meeting on the CAFR
 - c. A request to authorize the Economic Development Authority to allow South Central Wastewater Authority to conduct due diligence (surveying, boring and archeological investigation) on the Roper Property (119, 130 Pocahontas Street) for a proposed ROW alignment extension.
 8. **Official Public Hearings**
 - a. A Public Hearing and consideration of an amendment to the text of the City of Petersburg Zoning Ordinance regarding Small Box Discount Stores and Alternative Financial Institutions.
 - b. A public hearing and consideration of an Ordinance authorizing the City Manager to execute a Purchase Agreement toward the Sale Thirty-Six (36) parcels of City-owned property to JC Bynum Construction.

9. Public Information Period

A public information period, limited in time to 30 minutes, shall be part of an Order of Business at each regular council meeting. Each speaker shall be a resident or business owner of the City and shall be limited to three minutes. No speaker will be permitted to speak on any item scheduled for consideration on the regular docket of the meeting at which the speaker is to speak. The order of speakers, limited by the 30-minute time period, shall be determined as follows:

- a. First, in chronological order of the notice, persons who have notified the Clerk no later than 12:00 noon of the day of the meeting,**
- b. Second, in chronological order of their sign up, persons who have signed a sign-up sheet placed by the Clerk in the rear of the meeting room prior to the meeting removed from consent agenda**

10. Business or reports from the Mayor or other Members of City Council

11. Items removed from Consent Agenda

12. Unfinished Business

- a. Consideration of process and rules for Boards and Commissions.
- b. A resolution of the City of Petersburg City Council in support of HB1800, Item 114 #11h Infrastructure upgrades for the Petersburg Pharmaceutical Park

13. New Business

- a. Request to adopt a resolution authorizing the City Manager to execute an Infrastructure Development Agreement between the City of Petersburg and Phlow Corporation
- b. Consideration of appointing Lionel Lyons as the primary to the Appomattox River Water Authority (ARWA) Board.
- c. Consideration of appointing Lionel Lyons as primary to the South Central Wastewater Treatment Authority Board.
- d. A Resolution authorizing the City Manager to execute the Performance Agreement between the City of Petersburg, Civica, Inc & Virginia Economic Development Partnership for the Commonwealth's Opportunity Fund grant for a Pharmaceutical Manufacturing Development in Petersburg.
- e. A Resolution approving the issuance by the Petersburg Redevelopment and Housing Authority of its multifamily housing revenue bonds for the acquisition, construction, renovation, rehabilitation and equipping of the approximately 98-unit Dorsey Flats Apartments multifamily housing facility located in the City of Petersburg, Virginia.
- f. Request to schedule a public hearing for April 6, 2021 on an ordinance to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community, and authorizing the abatement of such nuisance. (1st Reading)
- g. Consideration of appointment to the Riverside Regional Jail Authority.

14. City Manager's Report

- a. COVID-19 Update

- 15. Business or reports from the Clerk**
- 16. Business or reports from the City Attorney**
- 17. Adjournment**



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor, Cynthia Boone

RE: **Request for the City Council to schedule a public hearing regarding a Proposal to Purchase and Develop nine (9) parcels of City-owned property and, consideration of an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.**

PURPOSE: Request for the City Council to schedule a public hearing regarding a Proposal to Purchase and Develop nine (9) parcels of City-owned property and, consideration of an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.

REASON: To hold a public hearing and consider an Ordinance that authorizes the City Manager to execute a Purchase Agreement and proceed with the sale of City-owned property in accordance with applicable legal requirements.

RECOMMENDATION: The Department of Economic Development is recommending a new purchase agreement be drafted between the City and Chilon Bolton for the purchase of City Owned property located at 427, 429, 431, 432, 438, 440, 452, and 602 Harrison Street for the proposed purchase price of \$30,750.

BACKGROUND: In 2018, Mr. Chilon Bolton submitted proposals to purchase City owned property located at 427, 429, 431, 432, 438, 440, 452, and 602 Harrison Street to build single family homes. The assessed value of the eight (8) parcels totaled \$61,500 at that time. Mr. Chilon proposed a counteroffer for \$5,000. The City Council approved the proposals and offer price of \$5000 in February 2019. Mr. Bolton provided his earnest deposit of \$500. The Purchase Agreement was executed on February 27, 2019.

Per the requirement of the purchase agreement, the developer had a 120-day due diligence period to provide documentation for staff to draft a Development Agreement to be approved by the Council and included in the deed. Mr. Bolton failed to comply and produce the requested documents (site plans, financial statement, etc.) within the specified timeframe. This resulted in the purchase agreement to expire and the eight properties were not closed on.

On June 23, 2020, Mr. Bolton reached out to Carthan Currin, former Economic Development Director.

Evidently from the email records available, no actions were taken until October of 2020.

In October 2020, The Department of Economic Development, after researching and analyzing the old purchase agreement, contacted Mr. Bolton to advise him that a new purchase agreement would need to be drafted due to his old purchase agreement expiring and requested he provide a copy of his site plans, business plan, and financial statement. On November 9, 2020, Mr. Bolton submitted the requested items.

On December 8, 2020, the Guidelines for the Disposition of City Owned property were revised and adopted by the City Council.

On December 11, 2020, staff advised Mr. Bolton that the previous proposed purchase price in the amount of \$5,000 does not conform with the new guidelines. Staff responded with a counteroffer in the amount of \$30,750. Mr. Bolton declined the counteroffer and asked for the council member contact information for the specific wards that the properties were located. Staff provided him with this information. The Department of Economic Development staff has had no further communication with Mr. Bolton since December 11, 2020.

ISSUE:

The current purchase agreement between the City of Petersburg and Chilon Bolton has expired. The applicant's proposed purchase price for \$5,000 does not conform with the revised Guidelines for the Disposition of City Owned Real Estate Property adopted by City Council on December 8, 2020.

COST TO CITY: Conveyance of Real Property

BUDGETED ITEM: NA

REVENUE TO CITY:

Revenue from the sale of property and associated fees and taxes.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: NA

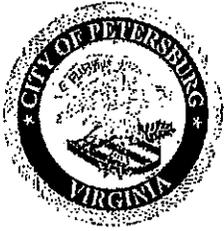
AFFECTED AGENCIES: City Manager, Economic Development, City Assessor

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: 19-ORD-15 Authorizing the city manager to execute documents related to the sale of city owned properties located at 427, 429, 431, 432, 438, 440, 450, 452, and 602 Harrison Street

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. Previous Agenda Item, Purchase Agreement, Tax Map, Assessment Forms, and Ariel
2. Chilon Bolton Ordinance



City of Petersburg

DATE: February 5, 2019

TO: The Honorable Mayor and Members of City Council

THROUGH: Aretha Ferrell-Benavides, City Manager

THROUGH: Lionel Lyons, Deputy City Manager

FROM: Reginald Tabor, Economic Development Manager

RE: **Proposal to Purchase City-owned Property on Harrison Street**

PURPOSE: The purpose is for the City Council to consider a proposal to purchase City-owned properties:

Address	Parcel ID
427 Harrison Street	031-060020
429 Harrison Street	031-060019
431 Harrison Street	031-060018
432 Harrison Street	031-050006
438 Harrison Street	031-050007
440 Harrison Street	031-050008
450 Harrison Street	031-050010
452 Harrison Street	031-050011
602 Harrison Street	031-200017

REASON: The City has received a request to Purchase City-owned Properties on Harrison Street.

RECOMMENDATION: City Council considers authorizing the City Manager to execute documents related to the sale of City-owned property at the following locations:

Address	Parcel ID
427 Harrison Street	031-060020
429 Harrison Street	031-060019
431 Harrison Street	031-060018
432 Harrison Street	031-050006
438 Harrison Street	031-050007
440 Harrison Street	031-050008

450 Harrison Street	031-050010
452 Harrison Street	031-050011
602 Harrison Street	031-200017

BACKGROUND: The City of Petersburg has received a request from Mr. Chilon Bolton to purchase the City-owned properties on Harrison Street. Mr. Bolton proposes to purchase and develop the properties as single family residences. Mr. Bolton has developed similar residential properties in Georgia. The City Council Standing Committee on Economic Development, Tourism, Land Use and Housing considered the proposal and recommends approval.

COST TO CITY: N/A.

BUDGETED ITEM: Revenue anticipated from the sale of City property identified in the General Fund Budget.

REVENUE TO CITY: Revenue from the sale of City-owned property and associated future revenue from property taxes associated with the development of the property.

CITY COUNCIL HEARING DATE: N/A

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: N/A

AFFECTED AGENCIES: N/A

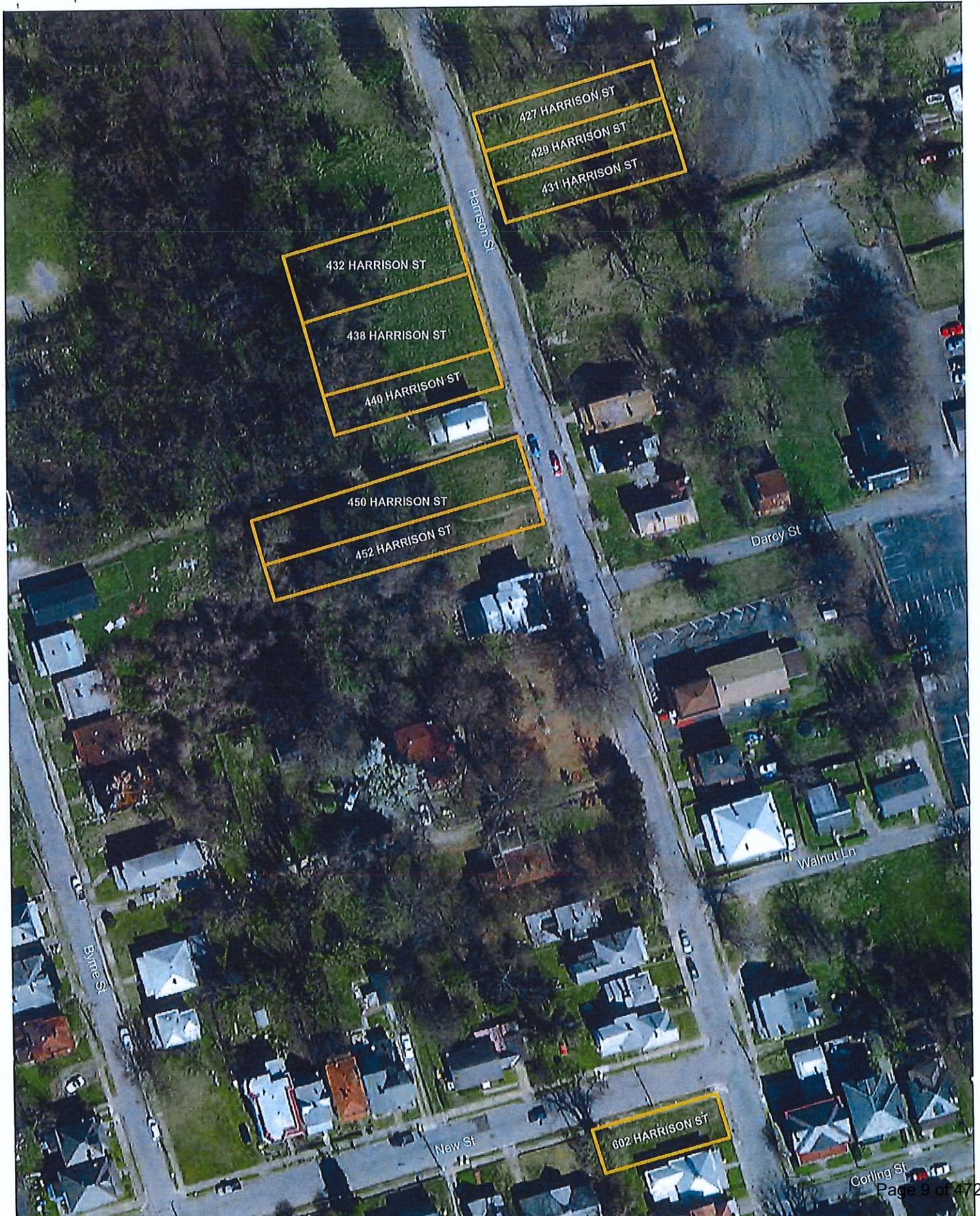
RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: N/A

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS: Proposal Assessment, Map, Property Record, Photo

STAFF: Reginald Tabor, Economic Development Manager

Properties Proposed for Purchase by C. Bolton



PURCHASE AGREEMENT

THIS RESIDENTIAL AGREEMENT OF PURCHASE AND SALE made as of this 25th day of September, 20 18, between City of Petersburg (Seller), and Harrison Street Land Trust (Purchaser), provides:

Subject to the matters set forth herein, Seller agrees to sell and convey and Purchaser agrees to buy that parcel of land with improvements thereon and appurtenances thereto belonging, lying and being in the City/County of Petersburg, Virginia known as 427, 429, 431, 432, 438, 440, 450, 452 & 602 Harrison Street, Petersburg VA, and being further described as Lot _____, Block _____, Section _____, Subdivision _____, together with the following items of personal property (if any) collectively, the Property):

1. TOTAL PURCHASE PRICE. The purchase price of the Property is as follows:

Earnest money deposit check which will remain as binder until closing, and be held for Seller by closing agent (chosen by Buyer) until closing, unless sooner forfeited or returned, according to the provisions of this Agreement.	\$ <u>500.00</u>
Balance due at closing (not including Buyers closing costs, prepaid items or prorations) in U.S. dollars cash or locally drawn certified or cashiers check.	\$ <u>4,500.00</u>
Total Purchase Price.	\$ <u>5,000.00</u>

2. Deposit. Purchaser has made a non-refundable deposit with S. Page Allen & Associates, PC Escrow Agent of Five Hundred and no/100-- Dollars (\$ 500.00) (the Deposit), receipt of which is hereby acknowledged. The Deposit shall be held in a non-interest-bearing escrow account by the Escrow Agent until Settlement and then applied to the Purchase Price.

3. Prorations and Expenses. All taxes, interest, rent, and FHA or similar escrow deposits, if any, shall be prorated as of the date of closing. Seller agrees to pay the expenses of preparing the deed and of the recordation tax applicable to grantors, as well as the cost of the termite report. Purchaser shall pay all other costs.

4. Risk of Loss. All risk of loss or damage to the Property by fire, casualty, or other cause is assumed by Seller until closing unless caused by Purchaser's negligence. In the event of substantial loss or damage to the Property before closing, Purchaser shall have the option of either (i) terminating this Agreement of Purchase, or (ii) affirming this Agreement of Purchase, in which event Seller shall assign to Purchaser all of Seller's rights under any insurance policies applicable to the Property.

5. Seller's Documents. Seller shall deliver to Purchaser at closing (a) a general warranty deed and English covenants of title, free of any encumbrances except easements and restrictive covenants of record not adversely affecting marketability of title or use of the Property for the construction of single-family residences and/or subdividing the property.

6. Condition of Premises. Purchaser agrees to accept the Property at Settlement in its present physical condition.

Seller agrees to deliver the Property in clean condition and to exercise reasonable and ordinary care in the maintenance and upkeep of the Property between the date this Contract is executed by Seller and Settlement.

7. **Closing.** Settlement shall be made in the offices of Purchaser's attorney on or before October 26, 2018, or as soon thereafter as title can be examined and necessary documents prepared ("Settlement Date"). The Settlement Date may only be changed with the written consent of the Buyer and the Seller. Possession shall be given at Settlement, unless otherwise agreed in writing by the parties.

8. **Brokerage Fee.** Seller and Purchaser both agree and specifically represent that no real estate broker and/or agent has been involved with regard to this contract of sale and that no fees or commissions are due to any person with regard to same.

9. **Breach.** In the event either party defaults, the defaulting party shall be liable for any damages and all expenses incurred by the non-defaulting party in connection with this transaction and the enforcement of this contract, including, without limitation, attorneys' fees and costs, if any. In the event Seller breaches this Agreement, Purchaser shall be entitled to bring suit for specific performance and recover any damages incurred due to the delay in the scheduled closing date.

10. **Zoning and Restrictions.** Unless the Property is zoned R-3 and can be legally used for residential use, or if there is notice of proposed zoning changes, deed or other restrictions that could prevent such use at time of closing, Purchaser will have the right to terminate this Agreement. Purchaser will have 10 days from acceptance to verify the existing zoning and current proposed changes, and deliver written notice of objections to Seller or be deemed to have waived objections under this paragraph.

REQUIRED DISCLOSURES

11. **Mechanics Liens.** Virginia law (Section 43-1 et seq.) permits persons who have performed labor or furnished materials for the construction, removal, repair or improvement of any building or structure to file a lien against the property. This lien may be filed at any time after the work is commenced or the material is furnished, but not later than the earlier of (i) 90 days from the last day of the month in which the lienor last performed work or furnished materials or (ii) 90 days from the time the construction, removal, repair or improvement is terminated. AN EFFECTIVE LIEN FOR WORK PERFORMED PRIOR TO THE DATE OF SETTLEMENT MAY BE FILED AFTER SETTLEMENT. LEGAL COUNSEL SHOULD BE CONSULTED.

12. **Choice of Settlement Agent:** You have the right to select a settlement agent to handle the closing of this transaction. The settlement agent's role in closing your transaction involves the coordination of numerous administrative and clerical functions relating to the collection of documents and the collection and disbursement of funds required to carry out the terms of the contract between the parties. If part of the purchase price is financed, your lender will instruct the settlement agent as to the signing and recording of loan documents and the disbursement of loan proceeds. No settlement agent can provide legal advice to any party of the transaction except a settlement agent who is engaged in the private practice of law in Virginia and who has been retained or engaged by a party to the transaction for the purpose of providing legal services to that party.

Escrow, closing and settlement service guidelines: The Virginia State Bar issues guidelines to help settlement agents avoid and prevent the unauthorized practice of law in connection with furnishing escrow, settlement or closing services. As a party to a real estate transaction, you are entitled to receive a copy of these guidelines from your settlement agent, upon request, in accordance with the provisions of the Consumer Real Estate Settlement Protection Act.

13 **Property Owners' Association Disclosure:** Seller represents that the Property is _____ is not XX, located within a development that is subject to the Virginia Property Owners' Association Act ("Act") (Virginia Code Section 55-508 through 55-516) (the "Act"). If the property is within such a development, the Act requires the Seller to obtain from the property owners' association an association disclosure packet and provide to Purchaser.

Any rights of Purchaser to cancel the Contract provided by the Act are waived conclusively if not exercised prior to Settlement.

14. **Residential Property Disclosure.** Seller represents that the Property () is OR (X) is not subject to the Virginia Residential Property Disclosure Act (Virginia Code Section 55-517, et seq.) which requires Seller of certain residential property to provide Purchaser in a Residential Property Disclosure Statement.

Property Disclosure is ____ or is not XX attached. (Attachment does not become part of this Agreement.)

15. **Required Notice as to Sexual Offenders.** NOTICE TO PURCHASERS: You should exercise whatever due diligence you deem necessary with respect to information on any sexual offenders registered under Chapter 23 (19.2-387 et seq.) of Title 19.2 of the Code of Virginia, whether the owner proceeds under subdivision 1 or 2 of subsection A of Section 55-519 of the Code of Virginia. Such information may be obtained by contacting your local police department or the Department of State Police, Central Criminal Records Exchange, at 804/674-2000.

16. **Other Items.** (Use this space for additional terms not covered in this agreement.)

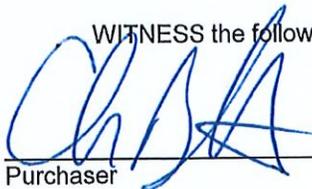
Addendum Attached: () No, () Yes, consisting of _____ pages.

17. **Entire Agreement/Amendments.** This Agreement of Purchase constitutes the entire agreement between the parties and may not be modified except by written instrument executed by the Seller and Purchaser.

18. **Governing Law.** This Agreement of Purchase shall be interpreted according to the law of the Commonwealth of Virginia, and it shall be binding upon the heirs, personal representatives, successors, and assigns of the parties.

19. **Fax Agreement.** Purchaser and Seller agree that a facsimile transmission of any original document shall have the same effect as an original. When a facsimile copy has been signed, any signature and/or initial required on an original shall be completed prior to closing.

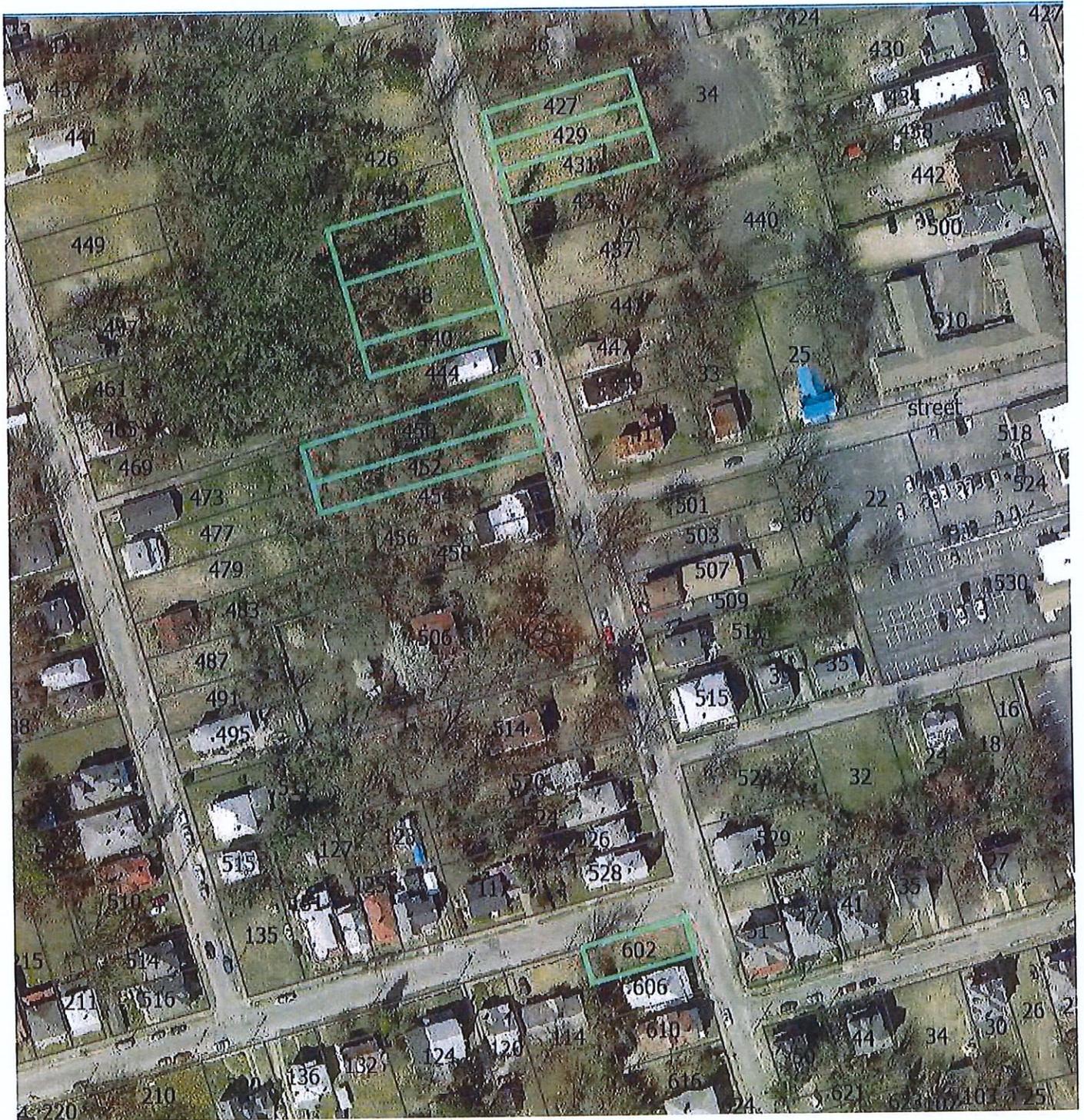
WITNESS the following signatures:


Purchaser

2/27/19
Date


Seller

2/15/19
Date



Proposal to Purchase City-Owned Property



Purchaser

Project Name Bolton Residential Development

Property Address 427 Harrison St

Parcel Number 031-060020 Acreage 0.10 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____

Number of Projected Jobs
 Temp/Const. Jobs

 Completion Date _____
 Permanent Jobs

Average Wage

Contingencies _____

City Assessment

	Residential SF	Yes	No
Proposed Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comp Plan Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	R-3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone		<input type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement		<input type="checkbox"/>	<input checked="" type="checkbox"/>
New Construction		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Structure or District		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Assessed Value \$ 5,900 Appraised Value \$ - Date _____

City Revenue from Sale	Abatement	Year 1	Year 5	Year 20
Projected Tax Revenue				
Real Estate Tax	\$ -	\$ 79.65	\$ 8,179.65	\$ 38,554.65
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 79.65	\$ 8,179.65	\$ 38,554.65
Costs to the City	\$ (5,344.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -

Staff Recommendation _____

Committee Recommendation _____ Comm. Review Date _____

Last Use (Public) _____

Council Decision _____ Council Review Date _____

Disposition Ord # _____ Ord Date _____

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-060020**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 Parcel Zoning **R-3**

Account Number **FOR SALE, Lot**
 Property Location **427 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **2/21/2006**
 Legal Reference **2006-844**
 Grantor
 Sale Price **20,000**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **5,900** Total Value **5,900**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

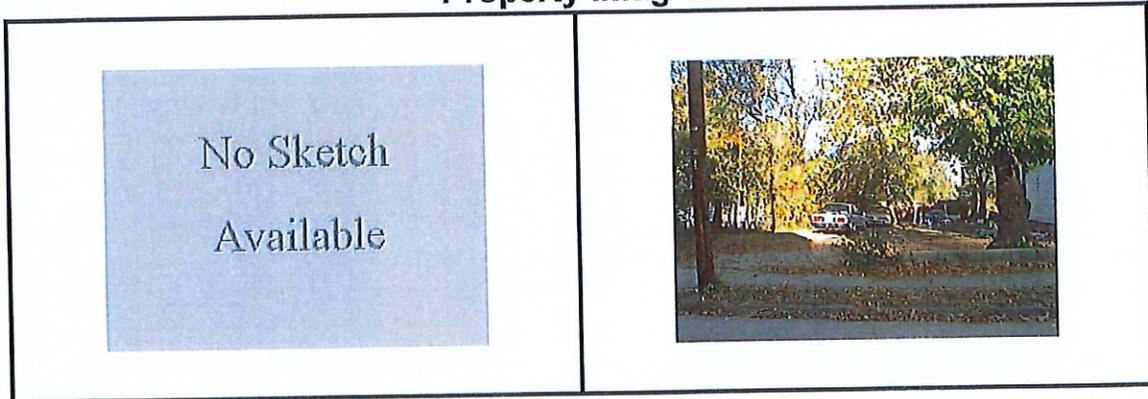
Legal Description

LT A WHITTLE PLAT 30X150

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

427 Harrison St





Proposal to Purchase City-Owned Property

Purchaser

Project Name Bolton Residential Development

Property Address 429 Harrison St

Parcel Number 031-060019 Acreage 0.10 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit In-fill Housing on vacant lot, revenue from improved value

Due Diligence Period (months) _____

Construction Start Date _____ Completion Date _____

Number of Projected Jobs Temp/Const. Jobs _____ Permanent Jobs _____

Average Wage _____

Contingencies _____

City Assessment

Outstanding Obligations	Residential SF	Yes	No
Proposed Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comp Plan Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	R-3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone		<input type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement		<input type="checkbox"/>	<input checked="" type="checkbox"/>
New Construction		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Structure or District		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Assessed Value \$ 8,300 Appraised Value \$ - Date _____

City Revenue from Sale	Abatement	Year 1	Year 5	Year 20
Projected Tax Revenue				
Real Estate Tax	\$ -	\$ 112.05	\$ 8,212.05	\$ 38,587.05
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 112.05	\$ 8,212.05	\$ 38,587.05
Costs to the City	\$ (7,744.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -
Staff Recommendation	_____			
Committee Recommendation	_____			
Last Use (Public)	_____			
Council Decision	_____			
Disposition Ord #	_____			
		Comm. Review Date	_____	
		Council Review Date	_____	
		Ord Date	_____	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-060019 Prior Parcel ID -- Property Owner CITY OF PETERSBURG Mailing Address 135 N. Union St City Petersburg Mailing State VA Zip 23803 Parcel Zoning R-3	Account Number FOR SALE, Grassy Lot Property Location 429 HARRISON ST Property Use CIP Most Recent Sale Date 2/21/2006 Legal Reference 2006-844 Grantor Sale Price 20,000 Land Area acres
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Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 8,300	Total Value 8,300
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Building Description

Building Style NONE # of Living Units 0 Year Built N/A Building Grade EXCELLENT Building Condition N/A Finished Area (SF) Number Rooms 0 # of 3/4 Baths	Foundation Type Frame Type Roof Structure Roof Cover Siding Interior Walls N/A # of Bedrooms 0 # of 1/2 Baths	Flooring Type CARPET Basement Floor N/A Heating Type NONE Heating Fuel N/A Air Conditioning # of Bsmt Garages 0 # of Full Baths # of Other Fixtures
--	--	---

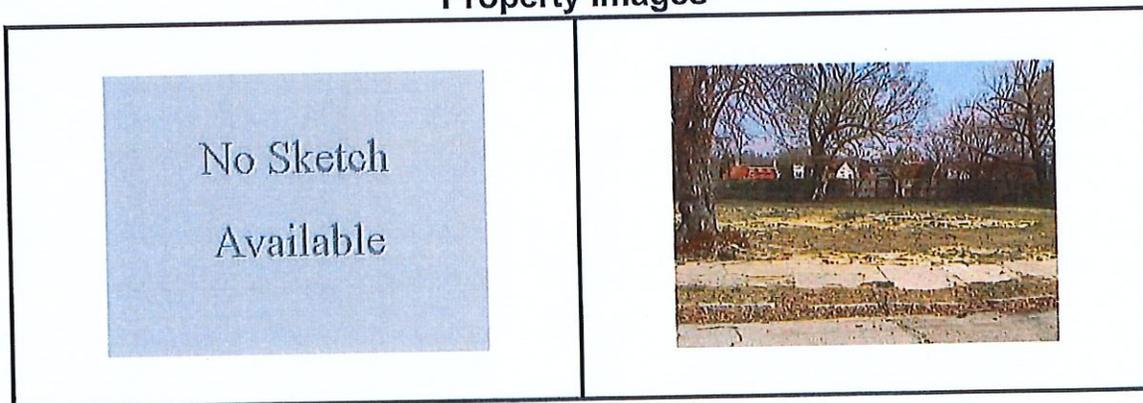
Legal Description

LOT B BISHOP PLAT

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A, having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

429 Harrison St



Proposal to Purchase City-Owned Property



Purchaser

Project Name Bolton Residential Development

Property Address 431 Harrison St

Parcel Number 031-060018 Acreage 0.10 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____ Completion Date _____

Number of Projected Jobs Temp/Const. Jobs _____ Permanent Jobs _____

Average Wage _____

Contingencies _____

City Assessment

Outstanding Obligations				
Proposed Land Use	<u>Residential SF</u>	Conformance	Yes	No
Comp Plan Land Use	<u>Residential SF</u>	Conformance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	<u>R-3</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone	_____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement	_____		<input type="checkbox"/>	<input checked="" type="checkbox"/>
New Construction	_____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Structure or District	_____		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Assessed Value \$ 5,900 Appraised Value \$ - Date _____

City Revenue from Sale	<u>\$ (5,344)</u>			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$	79.65	\$ 8,179.65	\$ 38,554.65
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	79.65	\$ 8,179.65	\$ 38,554.65
Costs to the City	\$ (5,344.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -
Staff Recommendation	_____			
Committee Recommendation	_____	Comm. Review Date	_____	
Last Use (Public)	_____			
Council Decision	_____	Council Review Date	_____	
Disposition Ord #	_____	Ord Date	_____	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-060018**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 ParcelZoning **R-3**

Account Number **FOR SALE, Grassy Lot**
 Property Location **431 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **11/15/2005**
 Legal Reference **2005-5497**
 Grantor
 Sale Price **3,300**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **5,900** Total Value **5,900**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

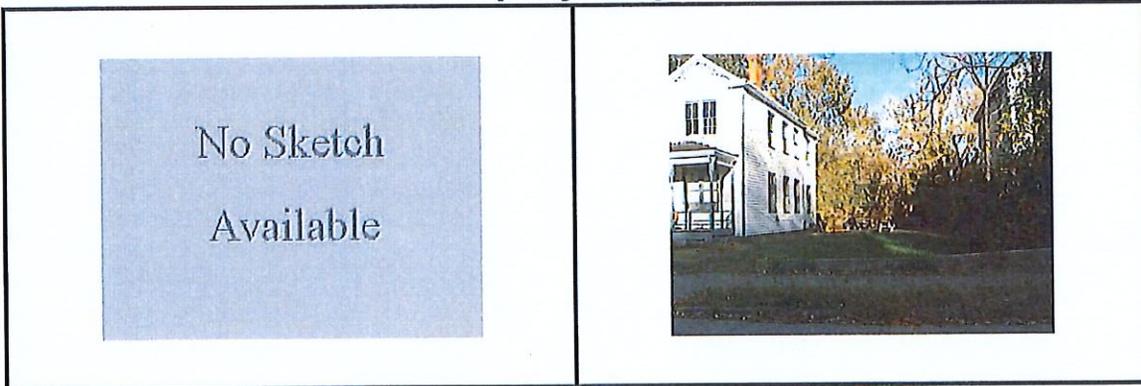
Legal Description

LT C WHITTLE PLAT 30X150

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

431 Harrison St



Proposal to Purchase City-Owned Property



Purchaser

Project Name Bolton Residential Development

Property Address 432 Harrison St

Parcel Number 031-050006 Acreage 0.18 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____

Number of Projected Jobs
 Temp/Const. Jobs _____ Permanent Jobs _____

Average Wage _____

Contingencies _____

City Assessment

	Residential SF	Yes	No
Proposed Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comp Plan Land Use	Residential SF	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	R-3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone		<input type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement		<input type="checkbox"/>	<input checked="" type="checkbox"/>
New Construction		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Structure or District		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Assessed Value \$ 9,500 Appraised Value \$ - Date _____

	Abatement	Year 1	Year 5	Year 20
City Revenue from Sale	<u>\$ (8,944)</u>			
Projected Tax Revenue				
Real Estate Tax	\$ -	\$ 128.25	\$ 8,228.25	\$ 38,603.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 128.25	\$ 8,228.25	\$ 38,603.25
Costs to the City	\$ (8,944.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -

Staff Recommendation _____

Committee Recommendation _____ Comm. Review Date _____

Last Use (Public) _____

Council Decision _____ Council Review Date _____

Disposition Ord # _____ Ord Date _____

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-050006**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 ParcelZoning **R-3**

Account Number **FOR SALE, Grassy & Wooded Lot**
 Property Location **432 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **8/18/2009**
 Legal Reference **2009-2380**
 Grantor
 Sale Price **7,700**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **9,500** Total Value **9,500**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

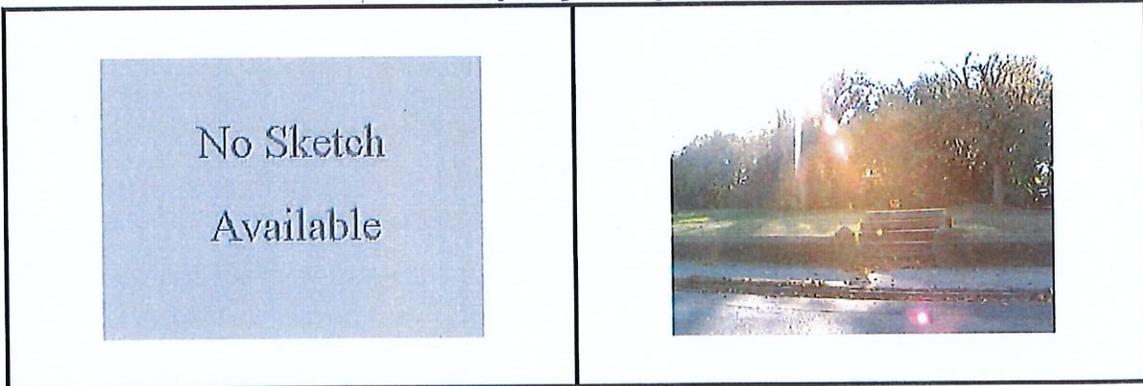
Legal Description

LEAVENWORTH PLAT LT 3

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

432 HARRISON ST.





Proposal to Purchase City-Owned Property

Purchaser

Project Name Bolton Residential Development

Property Address 438 Harrison St

Parcel Number 031-050007 Acreage 0.18 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton Phone (404) 557-5955

Address _____

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____

Number of Projected Jobs Temp/Const. Jobs _____ Permanent Jobs _____

Average Wage _____

Contingencies _____

City Assessment

Outstanding Obligations				
Proposed Land Use	Residential SF		Yes	No
Comp Plan Land Use	Residential SF	Conformance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	R-3	Conformance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement			<input checked="" type="checkbox"/>	<input type="checkbox"/>
New Construction			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Historic Structure or District				
Assessed Value	\$ 8,300	Appraised Value	\$ -	Date

City Revenue from Sale	\$ (7,744)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	None	\$ 112.05	\$ 8,212.05	\$ 38,587.05
Personal Property Tax	None	\$ -	\$ -	\$ -
Machinery and Tools Tax	None	\$ -	\$ -	\$ -
Sales and Use Tax	None	\$ -	\$ -	\$ -
Business License Fee	None	\$ -	\$ -	\$ -
Lodging Tax	None	\$ -	\$ -	\$ -
Meals Tax	None	\$ -	\$ -	\$ -
Other Taxes or Fees	None	\$ -	\$ -	\$ -
Total Tax Abatement	None	\$ -	\$ -	\$ -
Total Tax Revenue		\$ 112.05	\$ 8,212.05	\$ 38,587.05
Costs to the City	\$ (7,744.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -

Staff Recommendation _____

Committee Recommendation _____

Last Use (Public) _____

Council Decision _____

Disposition Ord # _____

Comm. Review Date _____

Council Review Date _____

Ord Date _____

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-050007**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 Parcel Zoning **R-3**

Account Number **FOR SALE, Grassy & Wooded Lot**
 Property Location **438 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **3/4/1998**
 Legal Reference **587-57**
 Grantor
 Sale Price **1,300**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **8,300** Total Value **8,300**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

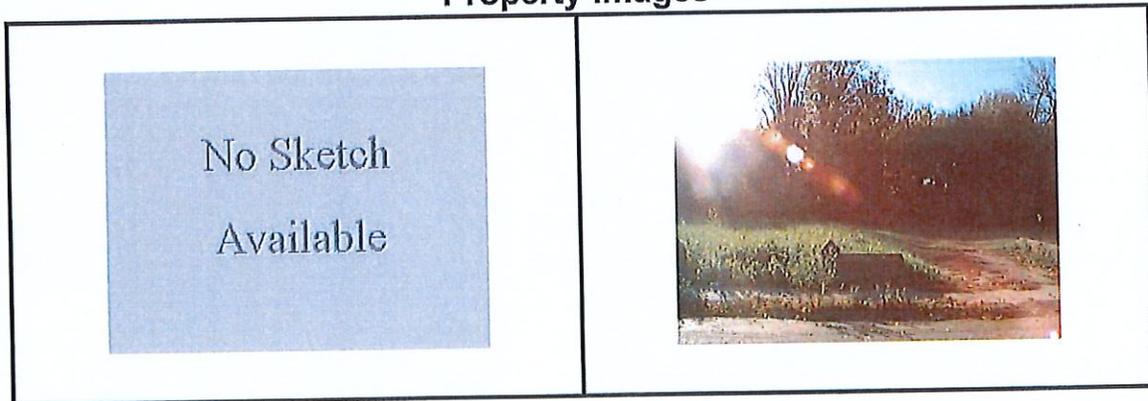
Legal Description

LOT 2 HOBBS ESTATE61.7X140

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

458 Harrison St





Proposal to Purchase City-Owned Property

Purchaser

Project Name Bolton Residential Development

Property Address 440 Harrison St

Parcel Number 031-050008 Acreage 0.11 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton Phone (404) 557-5955

Address _____

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit In-fill Housing on vacant lot, revenue from improved value

Due Diligence Period (months) _____

Construction Start Date _____ Completion Date _____

Number of Projected Jobs
 Temp/Const. Jobs Permanent Jobs

Average Wage

Contingencies _____

City Assessment

	Residential SF	Conformance	Yes	No
Proposed Land Use	Residential SF	Conformance	X	
Comp Plan Land Use	Residential SF	Conformance	X	
Zoning	R-3		X	
Enterprise Zone				X
Rehab/Abatement			X	
New Construction				X

Historic Structure or District _____

Assessed Value \$ 5,300 Appraised Value \$ - Date _____

	Abatement	Year 1	Year 5	Year 20
City Revenue from Sale	<u>\$ (4,744)</u>			
Projected Tax Revenue				
Real Estate Tax	\$ -	\$ 71.55	\$ 8,171.55	\$ 38,546.55
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 71.55	\$ 8,171.55	\$ 38,546.55
Costs to the City	\$ (4,744.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -

Staff Recommendation _____

Committee Recommendation _____ Comm. Review Date _____

Last Use (Public) _____

Council Decision _____ Council Review Date _____

Disposition Ord # _____ Ord Date _____

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-050008**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 ParcelZoning **R-3**

Account Number **FOR SALE, Grassy & Wooded Lot**
 Property Location **440 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **7/7/2004**
 Legal Reference **2004-2933**
 Grantor
 Sale Price **2,750**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **5,300** Total Value **5,300**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

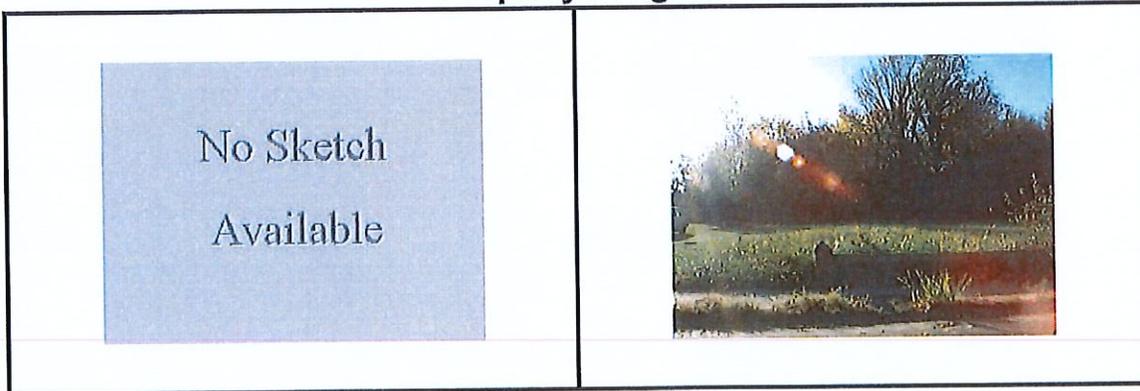
Legal Description

33.5 X 136.9

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

44U Harrison St



Proposal to Purchase City-Owned Property



Purchaser

Project Name Bolton Residential Development

Property Address 450 Harrison St

Parcel Number 031-050010 Acreage 0.18 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____

Number of Projected Jobs Temp/Const. Jobs _____ Permanent Jobs _____

Average Wage _____

Contingencies _____

City Assessment

	Residential SF	Conformance	Yes	No
Proposed Land Use	<u>Residential SF</u>	Conformance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comp Plan Land Use	<u>Residential SF</u>	Conformance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning	<u>R-3</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enterprise Zone	_____		<input type="checkbox"/>	<input type="checkbox"/>
Rehab/Abatement	_____		<input type="checkbox"/>	<input checked="" type="checkbox"/>
New Construction	_____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Historic Structure or District	_____		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Assessed Value	\$ 8,100	Appraised Value	\$ -	Date	_____
City Revenue from Sale	\$ (7,544)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 109.35	\$ 8,209.35	\$ 38,584.35	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -	
Total Tax Revenue	\$ -	\$ 109.35	\$ 8,209.35	\$ 38,584.35	
Costs to the City	\$ (7,544.44)	\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -	
Staff Recommendation	_____	Comm. Review Date	_____		
Committee Recommendation	_____				
Last Use (Public)	_____	Council Review Date	_____		
Council Decision	_____	Ord Date	_____		
Disposition Ord #	_____				

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-050010**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 Parcel Zoning **R-3**

Account Number **FOR SALE, Grassy Lot**
 Property Location **450 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **2/14/2006**
 Legal Reference **2006-757**
 Grantor
 Sale Price **25,000**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **8,100** Total Value **8,100**

Building Description

Building Style **N/A**
 # of Living Units **N/A**
 Year Built **N/A**
 Building Grade **N/A**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type **N/A**
 Frame Type **N/A**
 Roof Structure **N/A**
 Roof Cover **N/A**
 Siding **N/A**
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **N/A**
 Basement Floor **N/A**
 Heating Type **N/A**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

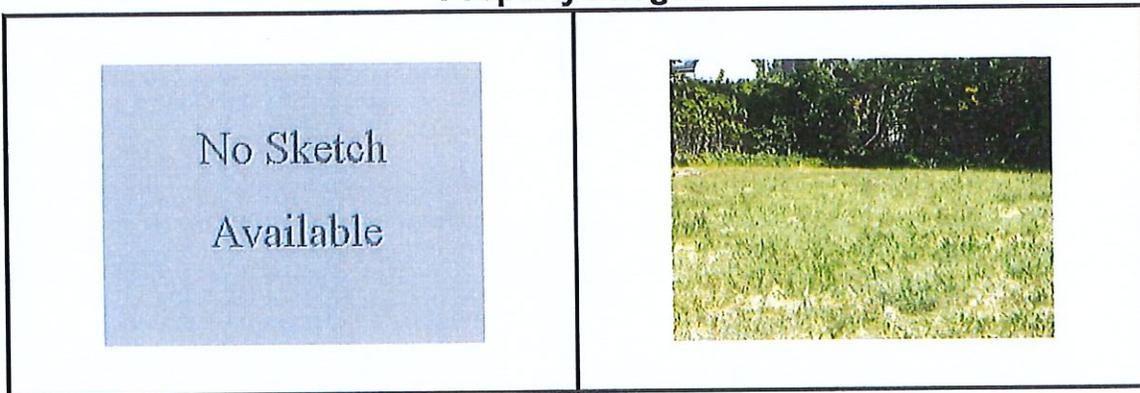
Legal Description

PARCEL 40 X 225

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

450 HARRISON ST



Proposal to Purchase City-Owned Property



Purchaser				
Project Name	Bolton Residential Development			
Property Address	452 Harrison St			
Parcel Number	031-05001.1	Acreage	0.18	Bldg SF
Year Constructed				
Project Developer	Chilon Bolton			
Contact Name	Chilon Bolton			
Address			Phone	(404) 557-5955
Email	<u>paradigm72@gmail.com</u>			
Experience/Qualifications				
Development Description	Single Family Residence			
Offered Purchase Price	\$ 556	Total Investment	\$	150,000
Description of Financing (%)	20% Equity, 80% Bank Construction Financing			
Community Benefit				
Due Diligence Period (months)				
Construction Start Date			Completion Date	
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs	
Average Wage				
Contingencies				
City Assessment				
Outstanding Obligations				
Proposed Land Use	Residential SF	Yes	No	
Comp Plan Land Use	Residential SF	Conformance	<input checked="" type="checkbox"/>	
Zoning	R-3	Conformance	<input checked="" type="checkbox"/>	
Enterprise Zone			<input checked="" type="checkbox"/>	
Rehab/Abatement			<input checked="" type="checkbox"/>	
New Construction			<input checked="" type="checkbox"/>	
Historic Structure or District			<input checked="" type="checkbox"/>	
Assessed Value	\$ 6,300	Appraised Value	\$ -	Date
City Revenue from Sale	\$ (5,744)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 85.05	\$ 8,185.05	\$ 38,560.05
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 85.05	\$ 8,185.05	\$ 38,560.05
Costs to the City	\$ (5,744.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -
Staff Recommendation				
Committee Recommendation			Comm. Review Date	
Last Use (Public)				
Council Decision			Council Review Date	
Disposition Ord #			Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-050011**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 Parcel Zoning **R-3**

Account Number **FOR SALE, Lot**
 Property Location **452 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **11/22/2005**
 Legal Reference **2005-5628**
 Grantor
 Sale Price **7,500**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value **6,300** Total Value **6,300**

Building Description

Building Style **NONE**
 # of Living Units **0**
 Year Built **N/A**
 Building Grade **EXCELLENT**
 Building Condition **N/A**
 Finished Area (SF)
 Number Rooms **0**
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls **N/A**
 # of Bedrooms **0**
 # of 1/2 Baths

Flooring Type **CARPET**
 Basement Floor **N/A**
 Heating Type **NONE**
 Heating Fuel **N/A**
 Air Conditioning
 # of Bsmt Garages **0**
 # of Full Baths
 # of Other Fixtures

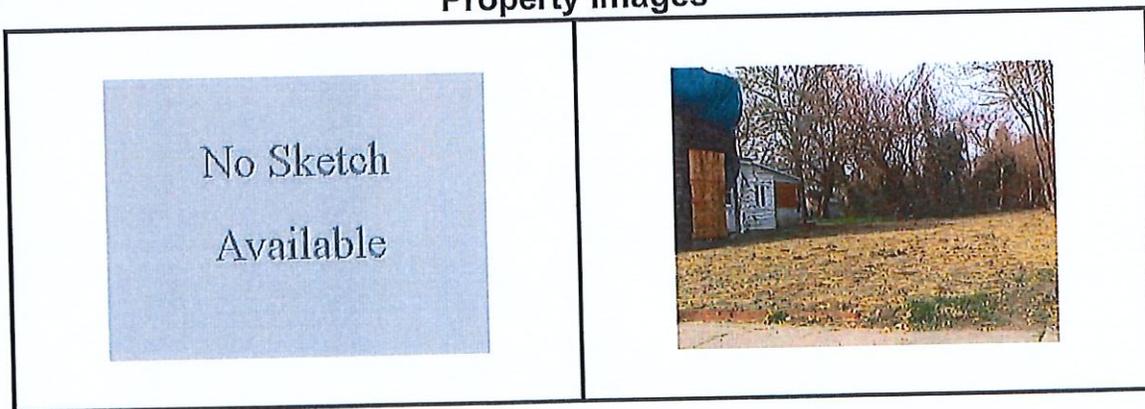
Legal Description

PARCEL ONE 30' X 225'

Narrative Description of Property

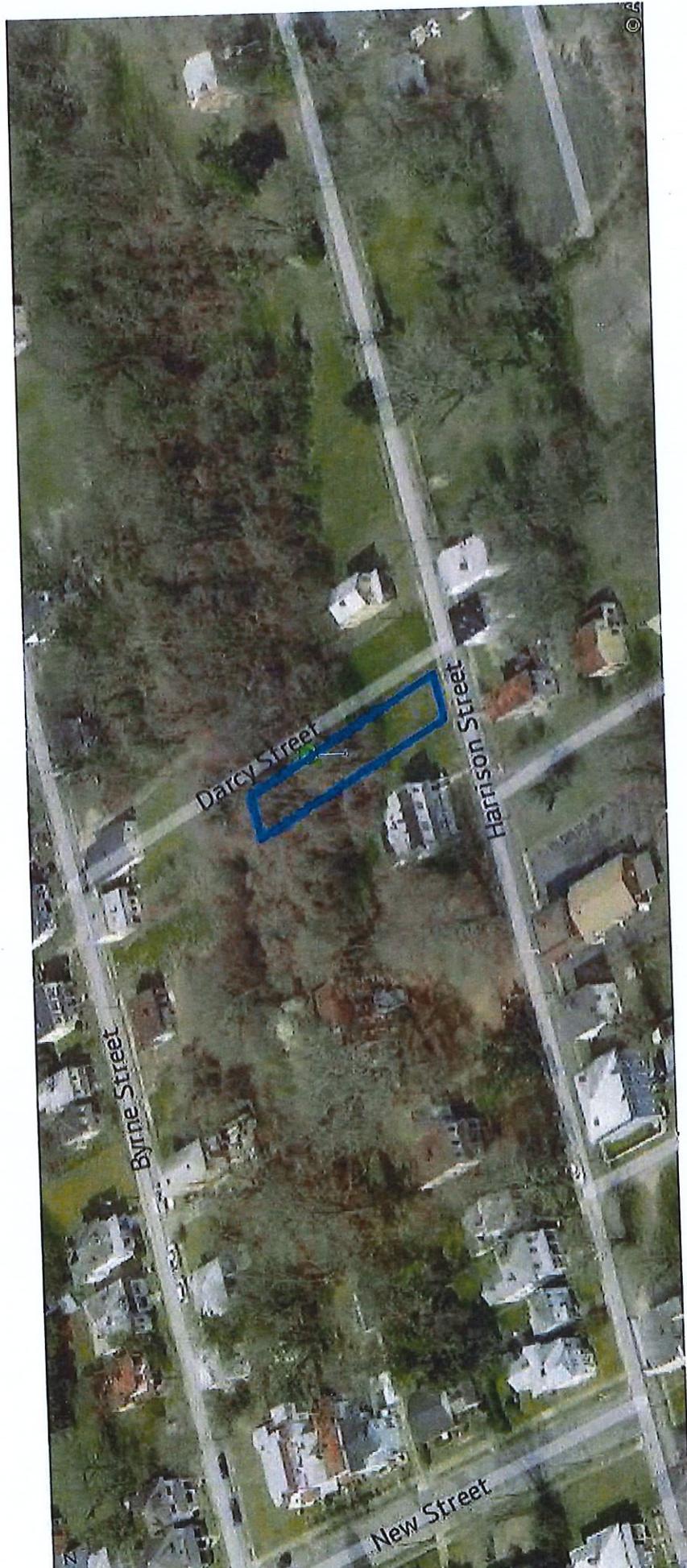
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

452 HARRISON ST



Proposal to Purchase City-Owned Property



Purchaser

Project Name Bolton Residential Development

Property Address 602 Harrison St

Parcel Number 031-200017 Acreage 0.18 Bldg SF _____

Year Constructed _____

Project Developer Chilon Bolton

Contact Name Chilon Bolton

Address _____ Phone (404) 557-5955

Email paradigm72@gmail.com

Experience/Qualifications _____

Development Description Single Family Residence

Offered Purchase Price \$ 556 Total Investment \$ 150,000

Description of Financing (%) 20% Equity, 80% Bank Construction Financing

Community Benefit _____

Due Diligence Period (months) _____

Construction Start Date _____

Number of Projected Jobs Temp/Const. Jobs _____ Completion Date _____

Average Wage _____ Permanent Jobs _____

Contingencies _____

City Assessment

Outstanding Obligations				
Proposed Land Use	<u>Residential SF</u>	Yes	No	
Comp Plan Land Use	<u>Residential SF</u>	Conformance <input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning	<u>R-3</u>	Conformance <input checked="" type="checkbox"/>	<input type="checkbox"/>	
Enterprise Zone	_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Rehab/Abatement	_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
New Construction	_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Historic Structure or District	_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Assessed Value \$ 3,900 Appraised Value \$ - Date _____

City Revenue from Sale	Abatement	Year 1	Year 5	Year 20
Projected Tax Revenue				
Real Estate Tax		\$ 52.65	\$ 8,152.65	\$ 38,527.65
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total Tax Abatement	\$ -	\$ -	\$ -	\$ -
Total Tax Revenue	\$ -	\$ 52.65	\$ 8,152.65	\$ 38,527.65
Costs to the City	\$ (3,344.44)	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ -	\$ -	\$ -
Staff Recommendation	_____			
Committee Recommendation	_____			
Last Use (Public)	_____			
Council Decision	_____			
Disposition Ord #	_____			
			Comm. Review Date	_____
			Council Review Date	_____
			Ord Date	_____

Property Record Card - Petersburg, VA

General Property Data

Parcel ID **031-200017**
 Prior Parcel ID **--**
 Property Owner **CITY OF PETERSBURG**
 Mailing Address **135 N. Union St**
 City **Petersburg**
 Mailing State **VA** Zip **23803**
 Parcel Zoning **R-3**

Account Number **FOR SALE, Grassy Lot**
 Property Location **602 HARRISON ST**
 Property Use **CIP**
 Most Recent Sale Date **2/25/1999**
 Legal Reference **609-26**
 Grantor
 Sale Price **5,000**
 Land Area **acres**

Current Property Assessment

Card 1 Value Building Value **0** Xtra Features Value **0** Land Value **3,900** Total Value **3,900**

Building Description

Building Style N/A	Foundation Type N/A	Flooring Type N/A
# of Living Units N/A	Frame Type N/A	Basement Floor N/A
Year Built N/A	Roof Structure N/A	Heating Type N/A
Building Grade N/A	Roof Cover N/A	Heating Fuel N/A
Building Condition N/A	Siding N/A	Air Conditioning
Finished Area (SF)	Interior Walls N/A	# of Bsmt Garages 0
Number Rooms 0	# of Bedrooms 0	# of Full Baths
# of 3/4 Baths	# of 1/2 Baths	# of Other Fixtures

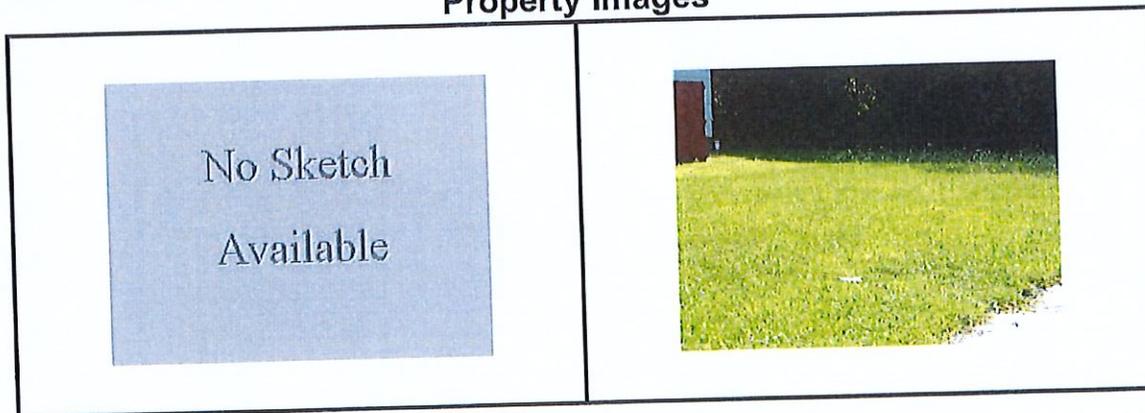
Legal Description

36.3 X 106.5

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) **N/A** style building, built about **N/A**, having **N/A** exterior and **N/A** roof cover, with **N/A** unit(s), **0** room(s), **0** bedroom(s), **0** bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

602 Harrison St



Harrison Street Homes Re-Development

*In-fill Single-Family Residential Construction
Petersburg, Virginia*

*Project Proposal Summary
of Acquisition and Construction
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*Prepared by
Paradigm Management Group, LLC*

*for
Commonwealth Revitalization, LLC*

October 30, 2020

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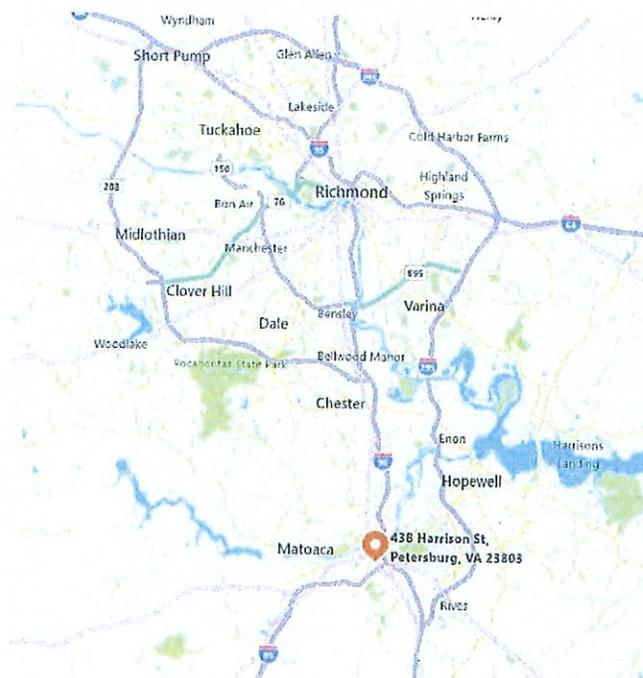
1 PROJECT DESCRIPTION

The Project detailed in this proposal is that of a residential real estate development. The basic nature of the development is that of an in-fill, multi single-family residential lot acquisition and construction project.

The targeted location for the development is the Harrison Street corridor of Petersburg in the Poplar Lawn Historic District and near the Delectable Heights neighborhood. The Poplar Lawn, formerly known as Central Park, is designated as a Nationally Registered Landmark District. With traditional and older homes, both the Poplar Lawn and Delectable Heights communities constitute an opportune development area, one that is ripe and primed for resurgence in new construction activity. Twenty eight minutes from downtown Richmond and twenty nine minutes from Richmond International Airport, the project site proves to be a favorable location.

Nine, mostly contiguous vacant residential lots are being acquired. The resulting developed property is that of eight newly built single-family homes on eight of those lots. The type of construction of the new homes not only complements, but in fact enhances that which is prevalent in the area. In addition to the homes themselves, each completed lot incorporates natural elements such as planted trees and flora.

The Project is greatly significant in that it is planned and designed, overall, to be available to the those prospective home-buyers who work in such professions as education, public-safety, law-enforcement, and others considered to be workforce. The Harrison Street Re-Development Project will be a catalyst for future commercial and further continued residential development and construction activity in the area.



2 PROJECT PLAN

The newly developed sites are comprised of eight single-family residential homes over a total land area of approximately 130,000 square feet. The project land area adheres to the R-3 zoning designation, where each of the nine lots averages roughly 3/10ths of an acre. The completed homes average 1,500 square feet each.

The project site area is just minutes from the intersection of Interstates 95 and 85, two of the most heavily traveled transportation routes in the eastern portion of the United States. The project area, more directly, is accessed from the east by Interstate 95 and South Sycamore Street, from the south and west by Interstate 85 and Halifax Street, and by East Wythe Street from the north. With the project area's location, the lot sites are favorably situated for maximum exposure and ease of access.

The homes will be built in Phases. The first phase is the construction of the "spec-built" home, at 438 Harrison Street where the newly built property will be used as the marketing and sales center. As sales and pre-sales activity accumulates, the seven other homes will subsequently be built on the remaining lots.

Project Scope

- *The property is currently zoned R-3 (Single-Family Residential), allowing for the residential construction, with customary accessory uses.*
- *The property contains approximately 3+/- acres of vacant land over nine lots. The lots, though not completely, are most contiguous and all are located on Harrison Street.*

Construction Scope and Schedule

- *The project's overall design theme is of higher-end character, than that currently existing in the area. The newly developed properties are designed in the "Craftsman" theme. Being new-construction, the built homes lend a contemporary feel to the neighborhood. But, by its nature, the craftsman style however is nod to the area's predominant traditional design.*
- *The homes are 3 bedroom, 2 ½ bath with above-builder's grade finishes. These include hard-surface countertops, hardwood flooring, with deluxe appliances, lighting, and fixtures.*
- *Amenities include powder rooms, covered porches and patios, luxurious master suites with separate owner's porches in some homes, and two car garages in some as well.*
- *Site improvements include exterior lighting installations, upgrades to sidewalks and curbs and gutters in the spaces adjacent to and in front of the completed homes, tree replacement of any trees that are disturbed, additional planting of greenery, which will add to curb appeal.*

The physical construction of the properties will be accomplished according to the following:

1. *Property (final) analysis- inspection;*
2. *Closing;*
3. *Initiate pre-marketing and sales program with listing broker (within 30 days after Closing);*
4. *Initiate permitting of first ("spec") home (within 45 days after Closing);*
5. *Commence construction of first ("spec") home (within 15 days of permit approval);*
6. *As pre-sales are accomplished with prospective buyers being qualified, permitting for those respective subsequent homes will be initiated (within 30 days of each executed buyer purchase contract and mortgage qualification);*
7. *Completion of first ("spec") home (within four months from initial construction commencement. Each subsequent home will be completed within a four month construction schedule/time-frame).*
8. *Receipt of certificate of occupancy for "spec" home;*
9. *Opening of sales center and launch of full marketing activities with image material (within 15 days of CO);*
10. *Receipt of certificates of occupancy and closings on and for all respective and subsequent homes as construction is completed on each. It is anticipated that the project will operate on an absorption rate of two homes per month. With that assumption, the project will be completely built-out, with each home sold to its buyer, within 18 months after Closing on the initial nine-lot acquisition. Note: the stated construction schedule is an estimated one and is based upon the project sponsor's professional experience and made with certain assumptions. The schedule is estimated with and under moderate macro-economic market conditions. Any changes to the overall national economic outlook, acts of nature, pandemic spread, or such other force majeure, may significantly impact the project's schedule.*

4 FINANCIAL PLAN

The financial projections are based upon the estimated costs associated with accomplishing the Project's development and construction, as herein defined by its Development Scope. The projected expenditures, which indicate the necessary capital requirements, are influenced by the parcel's size, boundary, dimensions, its topographic considerations, by the scope of design, and by construction sequencing.

The financial projections are as presented. All cost estimates are subject to and impacted by current and changing construction industry market conditions.

Project Cash Flow Projection

Income:	
Receipts	
Residential Homes Sales	1,800,000.00
Sales Commissions	90,000.00
Operating Revenue	\$1,710,000.00
<hr/>	
Expenses:	
Hard Costs	
Property Procurement	5,000.00
Pre-Development	2,000.00
Civil Design/Site Development	0.00
Architectural Design/Development	8,000.00
Development Site Construction	0.00
Home Building/ Construction	962,305.00
Amenity Package	0.00
Marketing Program	4,200.00
Development/Impact/Permitting Fees	3,000.00
Interest Reserve	44,000.00
Lender Points/Fees	0.00
Loan Closing Costs	8,000.00
Total Disbursement (Principle Loan and Equity In Process)	\$1,029,505.00
Total Monthly Loan Interest Payment Expense	63,600.00
Property Taxes	0.00
Gross Cash Flow	706,895.00
Soft Costs	
Legal services	4,000.00
Maintenance/General Expenses and Reserves	3,000.00
<hr/>	
Cumulative Net Cash Flow:	\$699,895.00

Note: What is presented above is what is projected to occur. It is, however, representational. The manner of construction and the rate at which homes are sold will be influenced by varying market considerations which may be different at the time construction and sales activity is initiated.

Sources and Uses

SOURCES AND USES

SOURCES OF FUNDS

<i>Debt Financing</i>	<i>\$1,022,305.00</i>
<i>Mezzanine</i>	<i>\$0.00</i>
<i>Equity</i>	<i>\$26,200.00</i>
<i>Brand Equity/Key Money</i>	<i><u>\$0.00</u></i>
<i>Total Sources</i>	<i>\$1,048,505.00</i>

USES OF FUNDS

<i>Acquisition</i>	<i>\$5,000.00</i>
<i>Closing Costs</i>	<i>\$8,000.00</i>
<i>Fees</i>	<i>\$3,000.00</i>
<i>Interest Reserve</i>	<i>\$44,000.00</i>
<i>Design/Engineering</i>	<i>\$8,000.00</i>
<i>Development/Construction/Renovation</i>	<i><u>\$980,505.00</u></i>
<i>Total Uses</i>	<i>\$1,048,505.00</i>

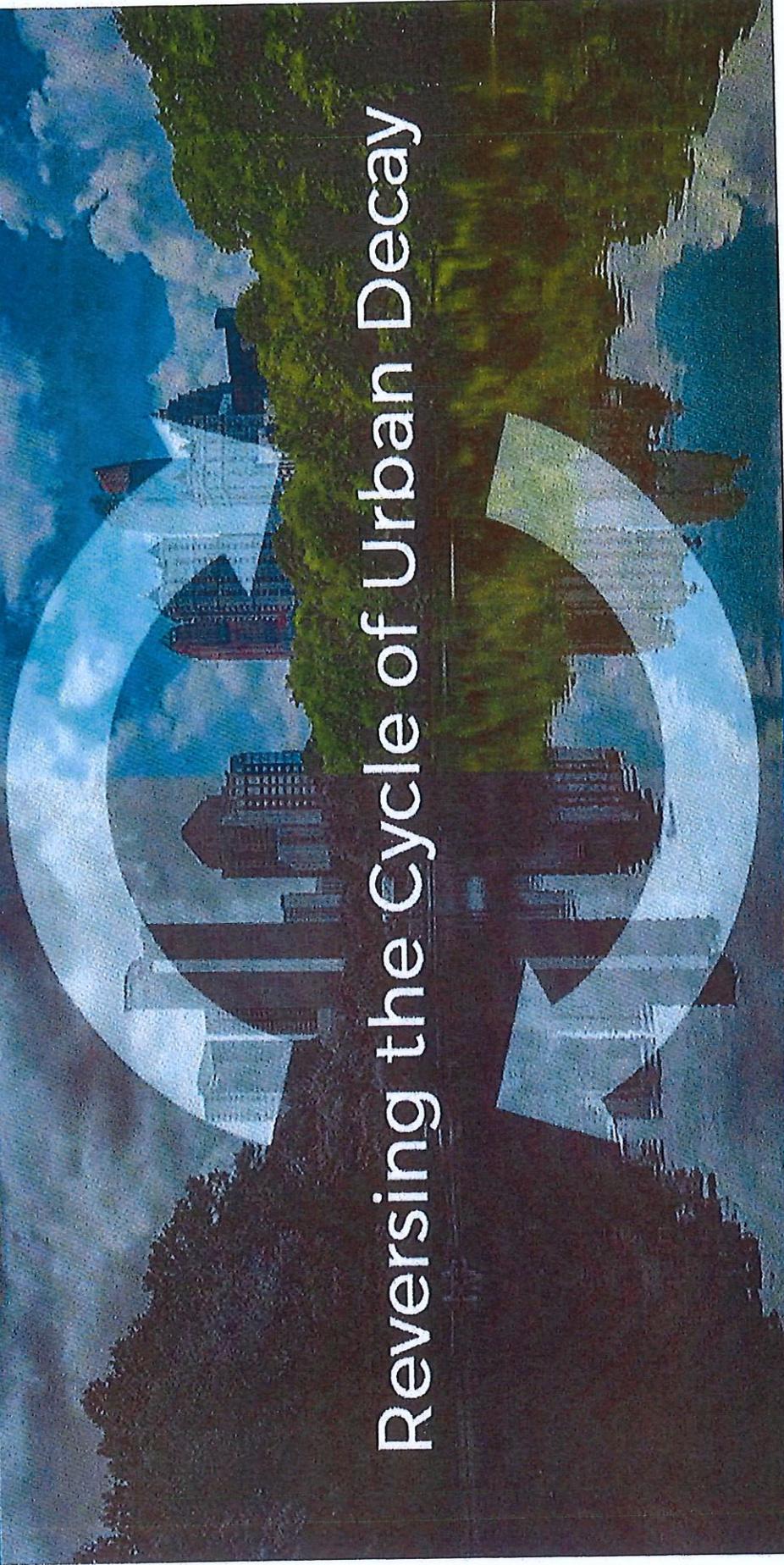
DETAILED UNIT CONSTRUCTION ESTIMATE - HARRISON STREET								
SFR	Estimate							
NO. & Description of System/Section	1500 SQ FT							
Summary	Quantity		Labor		Material		Sub Total	Sub-Section Total
	# units	unit meas.	per unit	SUB TOTAL	per unit	SUB TOTAL		
1.0 GENERAL REQUIREMENTS:								
Permits	8		\$0.00	\$0	\$262.50	\$2,100	\$2,100	
Builder's Risk Insurance	8		\$0.00	\$0	\$500.00	\$4,000	\$4,000	
General Liability	8		\$0.00	\$0	\$500.00	\$4,000	\$4,000	
Bonding	8		\$0.00	\$0	\$500.00	\$4,000	\$4,000	
SUB-SECTION TOTAL:					\$0.00	\$0	\$0	\$14,100
2.0 SITE WORK:								
CLEAR/EXCAV/BK-FILL/X-FILL	1		\$0.00	\$0	\$1,200.00	\$1,200	\$1,200	
LANDSCAPE & IRRIGATION	1		\$0.00	\$0	\$1,500.00	\$1,500	\$1,500	
Erosion Control/Silt Fence/NPDES	1		\$0.00	\$0	\$2,000.00	\$2,000	\$2,000	
WATER METER	8		\$0.00	\$0	\$500.00	\$4,000	\$4,000	
SEWER TIE IN	8		\$0.00	\$0	\$250.00	\$2,000	\$2,000	
CONSTRUCTION DRIVE	1				\$750.00	\$750	\$750	
SUB-SECTION TOTAL:								\$11,450
3.0 CONCRETE:								
FTGS/FDN /DAMP/RFGT-DRAIN	8		\$2,000.00	\$16,000	\$2,750.00	\$22,000	\$38,000	
GARAGE & BSMT SLABS/ REINFORCING STEEL	8		\$750.00	\$6,000	\$250.00	\$2,000	\$8,000	
PATIO/DRIVEWAY/WALKWY(CONC)	8		\$0.00	\$0	\$1,250.00	\$10,000	\$10,000	
LIGHTWEIGHT/ PRE-CAST	8		\$0.00	\$0	\$800.00	\$6,400	\$6,400	
PEST CONTROL	8				\$250.00	\$2,000	\$2,000	
SUB-SECTION TOTAL:								\$64,400
4.0 MASONRY:								
BRICK	4		\$2,000.00	\$8,000	\$500.00	\$2,000	\$10,000	
BLOCK	2		\$1,000.00	\$2,000	\$500.00	\$1,000	\$3,000	
STONE	2		\$4,000.00	\$8,000	\$300.00	\$600	\$8,600	
STUCCO			\$0.00	\$0	\$0.00	\$0	\$0	
SUB-SECTION TOTAL:								\$21,600
5.0 METALS:								
STEEL STAIRS AND RAILS	8		\$1,500.00	\$12,000	\$500.00	\$4,000	\$16,000	
ORNAMENTAL STR/ MISC.				\$0		\$0	\$0	
STRUCTURAL STEEL	8			\$0	\$2,000.00	\$16,000	\$16,000	
SUB-SECTION TOTAL:								\$32,000
6.0 WOOD AND PLASTICS:								
ROUGH CARPENTRY	8		\$0.00	\$0	\$20,000.00	\$160,000	\$160,000	
FINISH CARPENTRY	8		\$0.00	\$0	\$6,000.00	\$48,000	\$48,000	
CORNICE/ TRIM	8		\$3,000.00	\$24,000	\$2,000.00	\$16,000	\$40,000	
ROUGH LUMBER	1		\$0.00	\$0	\$30,000.00	\$30,000	\$30,000	
FINISH LUMBER	1		\$0.00	\$0	\$4,000.00	\$4,000	\$4,000	
CABINETS	8		\$1,250.00	\$10,000	\$6,000.00	\$48,000	\$58,000	
WOOD SIDING			\$0.00	\$0	\$0.00	\$0	\$0	
DECK	8		\$0.00	\$0	\$750.00	\$6,000	\$6,000	
SUB-SECTION TOTAL:								\$346,000

7.0 THERMAL AND MOISTURE PROTECTION:							
ROOFING/FELTS/FLASHING	8	\$0.00	\$0	\$4,000.00	\$32,000	\$32,000	
GUTTERS & DOWNSPOUTS	8	\$0.00	\$0	\$1,200.00	\$9,600	\$9,600	
WATER PROOFING	8	\$0.00	\$0	\$400.00	\$3,200	\$3,200	
INSULATION	8	\$0.00	\$0	\$400.00	\$3,200	\$3,200	
SUB-SECTION TOTAL:							\$48,000
8.0 DOORS AND WINDOWS:							
DOORS	104	\$0.00	\$0	\$150.00	\$15,600	\$15,600	
GAR. DOOR	8	\$0.00	\$0	\$1,500.00	\$12,000	\$12,000	
HDWRE-FINISH/SHELF/MIRR/SHWRDR	104	\$250.00	\$26,000	\$750.00	\$78,000	\$104,000	
WINDOWS	104	\$0.00	\$0	\$250.00	\$26,000	\$26,000	
SPECIAL DOORS (PATIOS, ETC)			\$0	\$0.00	\$0	\$0	
SUB-SECTION TOTAL:							\$157,600
9.0 FINISHES:							
DRYWALL	8	\$2,500.00	\$20,000	\$1,500.00	\$12,000	\$32,000	
PAINTING/WALLPAPER	8	\$0.00	\$0	\$1,500.00	\$12,000	\$12,000	
CERAMIC TILE	8	\$0.00	\$0	\$1,000.00	\$8,000	\$8,000	
COUNTER / VANITY TOPS	4	\$1,500.00	\$6,000	\$4,000.00	\$16,000	\$22,000	
HARDWOOD	4	\$0.00	\$0	\$4,000.00	\$16,000	\$16,000	
SUB-SECTION TOTAL:							\$90,000
10.0 SPECIALTIES:							
MAILBOX	8	\$0.00	\$0	\$50.00	\$400	\$400	
FIREPLACE	8	\$0.00	\$0	\$300.00	\$2,400	\$2,400	
SUB-SECTION TOTAL:							\$2,800
11.0 EQUIPMENT:							
RANGE/OVEN	8		\$0	\$500.00	\$4,000	\$4,000	
REFRIGERATOR	8		\$0		\$0	\$0	
DISHWASHER	8		\$0	\$400.00	\$3,200	\$3,200	
DISPOSAL	8	\$0.00	\$0	\$200.00	\$1,600	\$1,600	
HOOD	8	\$0.00	\$0	\$200.00	\$1,600	\$1,600	
MICROWAVE OVEN	8	\$0.00	\$0	\$300.00	\$2,400	\$2,400	
SUB-SECTION TOTAL:							\$12,800
12.0 FURNISHINGS:							
CARPET	8	\$0.00	\$0	\$400.00	\$3,200	\$3,200	
SHADES/BLINDS		\$0.00	\$0		\$0	\$0	
DRAPES		\$0.00	\$0		\$0	\$0	
SUB-SECTION TOTAL:							\$3,200
13.0 SPECIAL CONSTRUCTION:							
SUB-SECTION TOTAL:							\$0
14.0 CONVEYING SYSTEMS:							
ELEVATORS				\$0.00	\$0	\$0	
SUB-SECTION TOTAL:							\$0

15.0 MECHANICAL:							
HVAC ROUGH	8		\$0.00	\$0	\$1,250.00	\$10,000	\$10,000
HVAC FINISH	8		\$0.00	\$0	\$1,000.00	\$8,000	\$8,000
PLUMBING - ROUGH	8		\$0.00	\$0	\$750.00	\$6,000	\$6,000
PLUMBING - UNDER SLAB	8		\$0.00	\$0	\$625.00	\$5,000	\$5,000
PLUMBING - FINISH / SET FIXTURES	8		\$150.00	\$1,200	\$750.00	\$6,000	\$7,200
SUB-SECTION TOTAL:							\$36,200
16.0 ELECTRICAL:							
METER PANEL & WIRING	8		\$0.00	\$0	\$1,500.00	\$12,000	\$12,000
UNIT PANEL & WIRING	8		\$0.00	\$0	\$750.00	\$6,000	\$6,000
SET FIXTURES & TRIM	8		\$250.00	\$2,000	\$750.00	\$6,000	\$8,000
CABLE/DATA WIRING	8		\$0.00	\$0	\$1,200.00	\$9,600	\$9,600
ALARM SYSTEM	8		\$0.00	\$0	\$2,000.00	\$16,000	\$16,000
INT. COM/SEC SYS			\$0.00	\$0	\$0.00	\$0	\$0
LIGHTING ALLOWANCE	8		\$0.00	\$0	\$300.00	\$2,400	\$2,400
SUB-SECTION TOTAL:							\$54,000
17.0 OTHERS:							
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
SUB-SECTION TOTAL:							\$0
18.0 CHANGE ORDERS:							
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
SUB-SECTION TOTAL:							\$0
19.0 INDIRECTS / ADMIN.:							
CLEANING	8		\$400.00	\$3,200	\$0.00	\$0	\$3,200
EQUIPMENT RENTAL	1		\$0.00	\$0	\$1,000.00	\$1,000	\$1,000
TEMPORARY UTILITIES	1		\$0.00	\$0	\$1,000.00	\$1,000	\$1,000
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
			\$0.00	\$0		\$0	\$0
SUB-SECTION TOTAL:							\$5,200
SUB TOTAL:							\$899,350
CONTINGENCY							\$26,981
CONTRACTOR'S FEE	1		\$17,987.00	\$17,987	\$17,987.00	\$17,987	\$35,974
O.H. & PROFIT							\$0
TOTAL CONSTRUCTION:							\$962,305

HARRISON STREET HOMES by STONEWOOD HOMES

Reversing the Cycle of Urban Decay



About Stonewood Homes

- Stonewood Homes was established to fill the need for quality and affordable residential housing in the Petersburg area. We take pride in creating homeownership, while upholding community values and pride of home ownership. Our vision is to build livable homes and sustainable communities that offer residents an affordable and stylish home in a new urban oasis.
- With an emphasis on restoring the community's self-sufficiency and maintaining a level of affordability for current and potential residents, Stonewood has developed a plan that will focus on revitalization and historical restoration. In addition to cleaning the community and inspiring residents to get involved in its restoration, Stonewood hopes to promote increased homeownership amongst Petersburg residents.

Goal & Strategy

Overall Goal :

- To increase the number of residential units through new construction for the purpose of providing housing opportunities for a broad cross-section of Petersburg's residents and beyond.
- Assist in fulfilling one of the City of Petersburg's "Five Fingers" of Economic Development via **Real Estate Development / Homeownership**
- Reinvest in neglected communities
- Build transit oriented communities
- Maintain smart growth real estate practices in urban markets.

Our strategy addresses three interrelated aspects of a housing development partnership with municipality or affiliated housing agencies:

1. Land acquisition via a defined purchase plan for new construction
2. Planning concepts and programs for providing affordable and market rate housing
3. Identify private and public capital, thus creating an environment for a continued investment deployment toward a project pipeline.

Our Approach

The Stonewood Homes Team is poised to create market rate, affordable housing in transitional intown neighborhoods through a five phase process.



Acquire prime sites in under-invested neighborhoods with high growth potential near urban centers.



Build new construction 3 bedroom/ 2 bathroom homes on each site



Sell homes at a price point that is affordable to the city's median income.



Use proceeds from home sales to reinvest in the community and purchase more **Vacant and Marketable** land lots from City of Petersburg or private land owners.

Our Comprehensive End-to-End Solution

Inventory Control	Property Acquisition	Property Closing
	Assessment p/ Criteria	
On-Site Property Evaluation	Property Due Diligence	Construction Cost Estimation
	Market Analysis & Appraisal	
	Project Financing - Warehouse Line	Funds Management
	Collateralization	
Buyer Pipeline	Buyer Sourcing	Product Matching
	Screening/Pre-Approval	
Construction Management	Site Management	Continuous Progress Tracking
	Site safety and Cleanliness	
Final Inspection	Buyer Facilitation	Closing Coordination
	Qualification Update	
	Homeownership	
	Pre-Closing Walk Thru	Housing Occupied

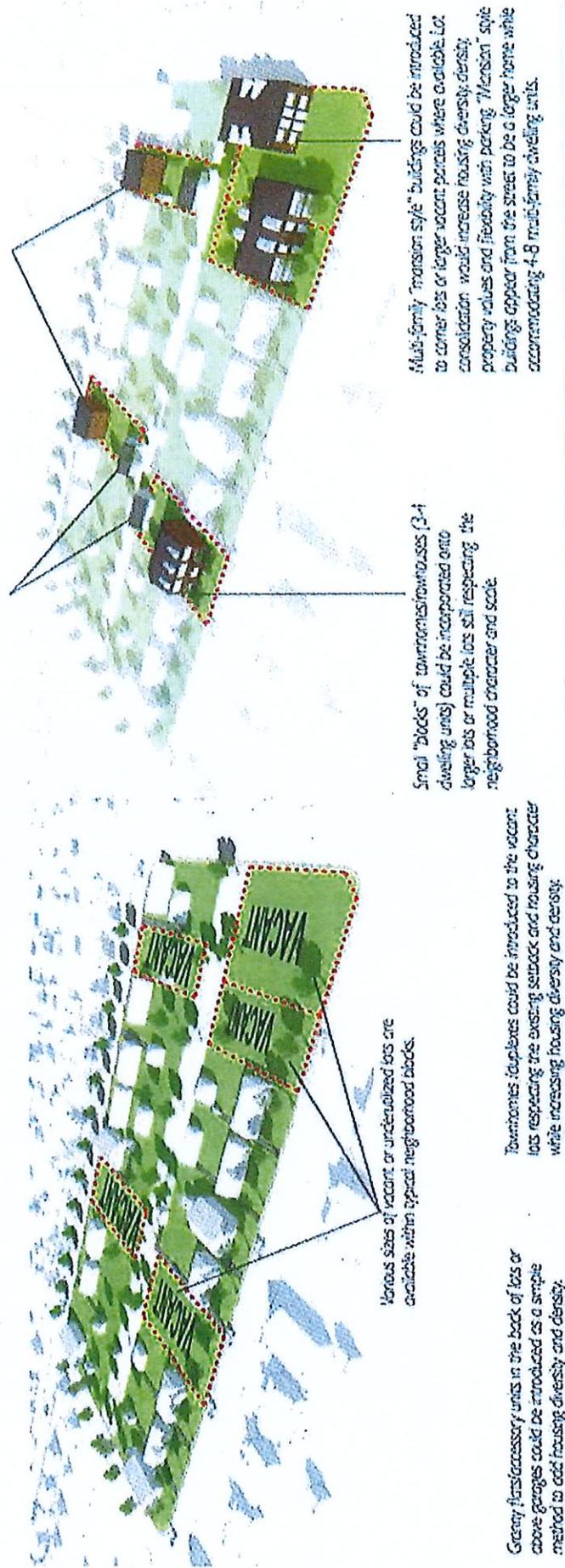
Target Criteria for Site Selection

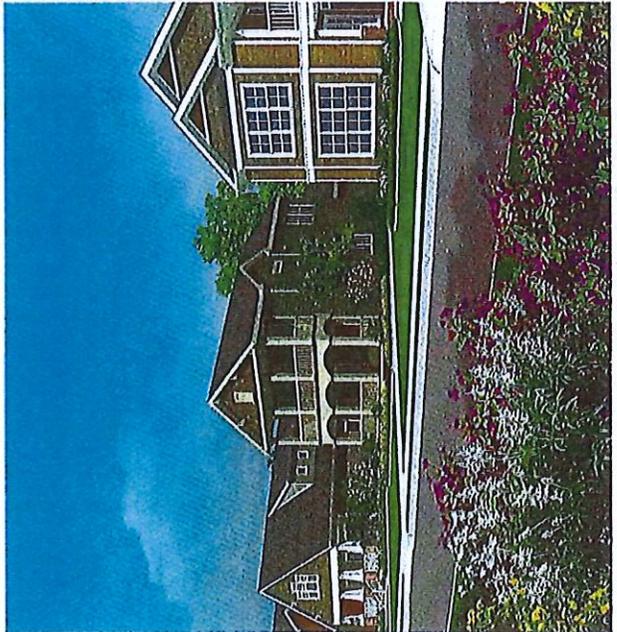
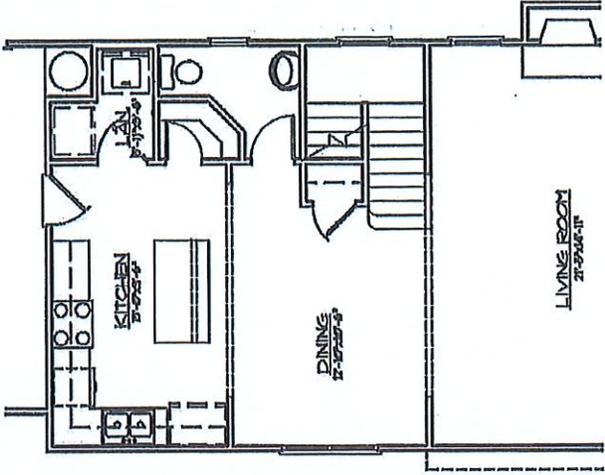
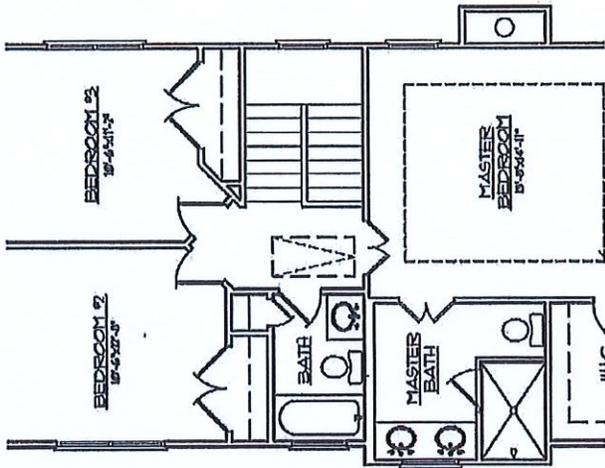
Property Information

Address	Harrison Street	✓ Easily accessible to employment and social centers via public and private transportation
Lot Size	0.5 Acres	✓ Ideal sites are within established communities, in Opportunity Zones and/or Enterprise Zones
Build	New Construction	✓ Current and future development within walking distance
Zoning	Single Family Residential	✓ Neighborhoods in the path of development
Homesites	8 Homes	✓ Near demand drivers (existing or planned)
House Specifications	1,500 SF 3 Bed / 2.5 Bath	✓ Critical Mass opportunities
		✓ Community support organizations
		✓ Opportunistic land basis by leveraging relationships with City of Petersburg
		✓ Partnerships with land assemblers that allow us to scale

Infill within a Neighborhood Context

Existing neighborhood and city corridors offer targeted redevelopment opportunities which can provide not only a diversity of housing types and scales, but also create a walkable mixed-use identity and sense of place to the various neighborhoods they service.





HARRISON STREET HOMES

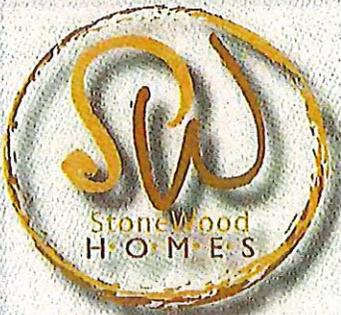
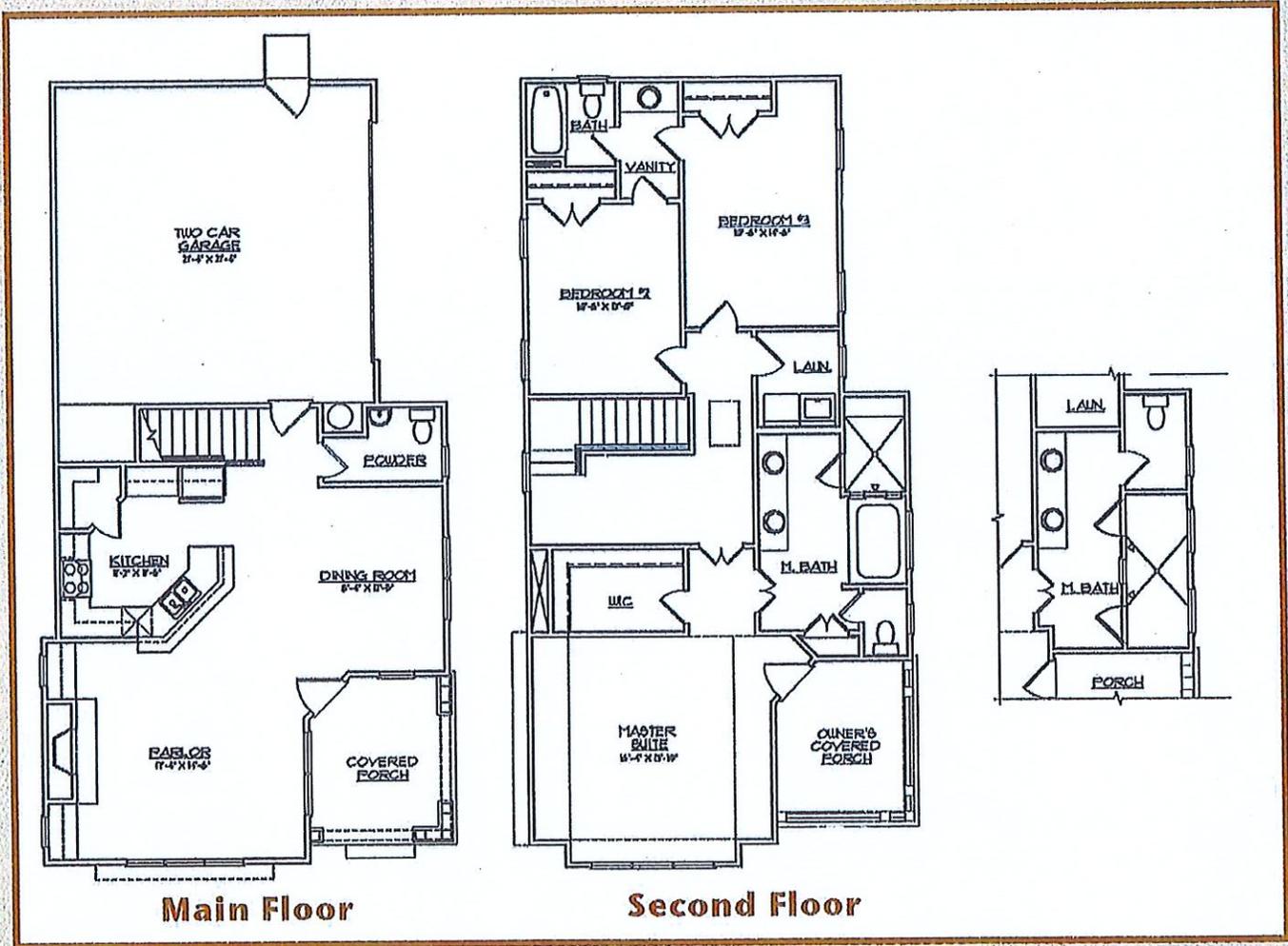
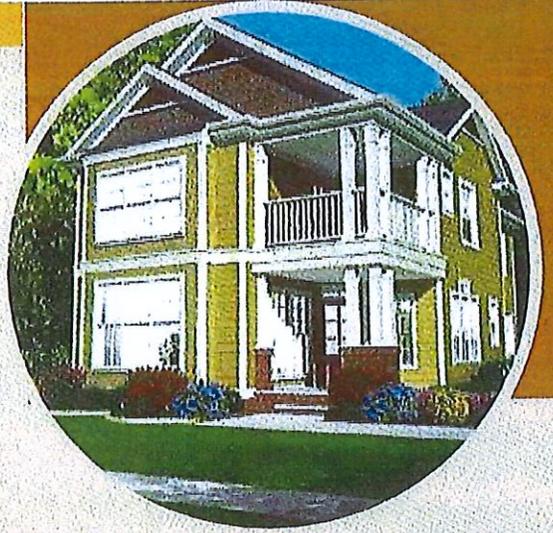
Current Project Summary

- Harrison Street Homes lies within the fabric of the Delectable Heights community which boasts a long and rich history as a traditional neighborhood. Harrison Street Homes will consist of eight entry level, single-family detached homes plotted consecutively on or around Street and feature stylish interiors features and historically inspired exterior elements. This project is in close proximity to a historic district and blocks from retail activity, and minutes from downtown attractions and restaurants.
- Harrison Street Homes represents the epitome of urban living in an emerging traditional neighborhood. The historically inspired architecture, combined with a lifestyle that is enriched by location, makes Harrison Street Homes a model intown neighborhood development.
- Groundbreaking for Harrison Street Homes is set for 2019 (contingent upon zoning, permitting, municipal and community support). The project, which is scheduled for completion in 2021, will provide attractive and affordable housing for low-income families.

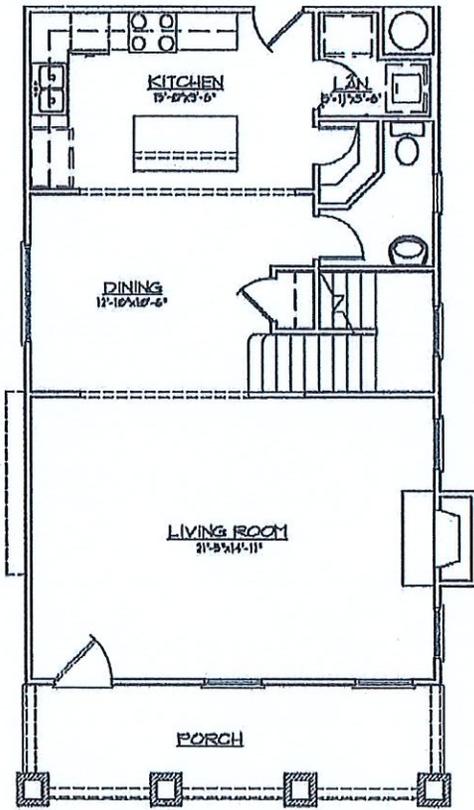
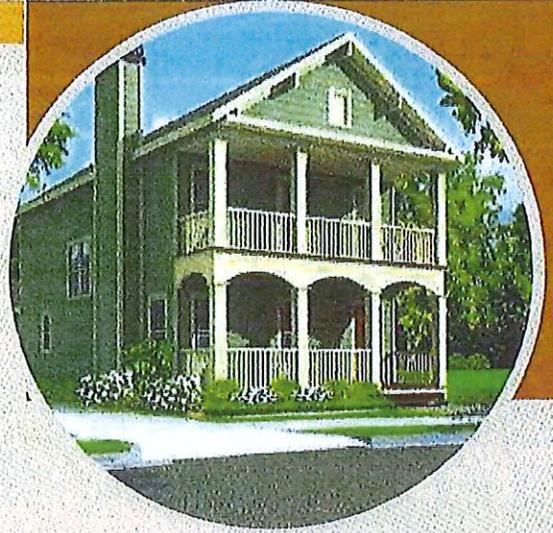
Project : Homesite Summary

ADDRESS	PLAN	SQUARE FEET	PRICE
LOT 1	MORNINGSIDE	1822	180,000
LOT 2	ST. JAMES	1847	185,000
LOT 3	MORNINGSIDE	1822	180,000
LOT 4	WOODRUFF	1540	150,000
LOT 5	ST. JAMES	1847	185,000
LOT 6	MORNINGSIDE	1822	180,000
LOT 7	ST. JAMES	1847	185,000
LOT 8	WOODRUFF	1540	150,000

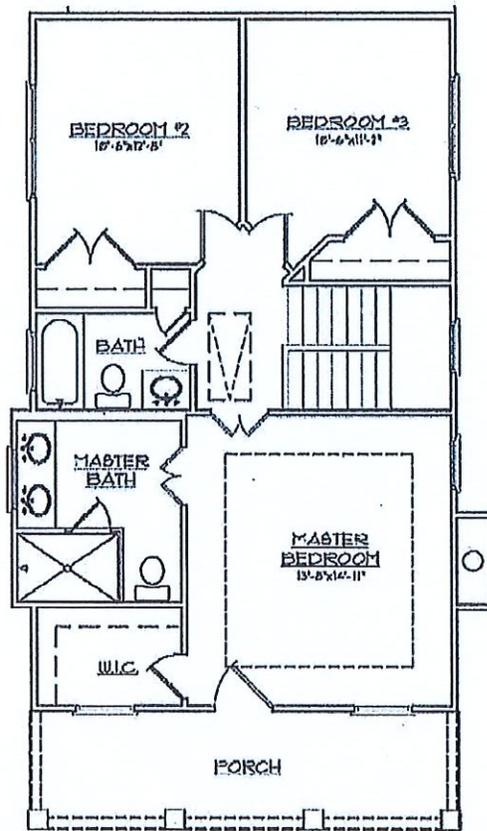
Morningside



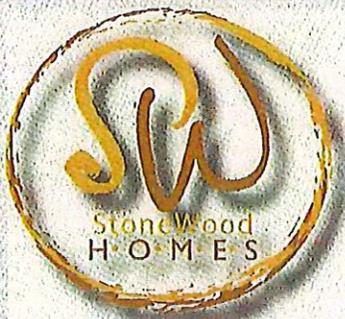
Woodruff



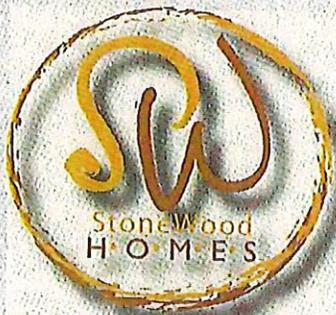
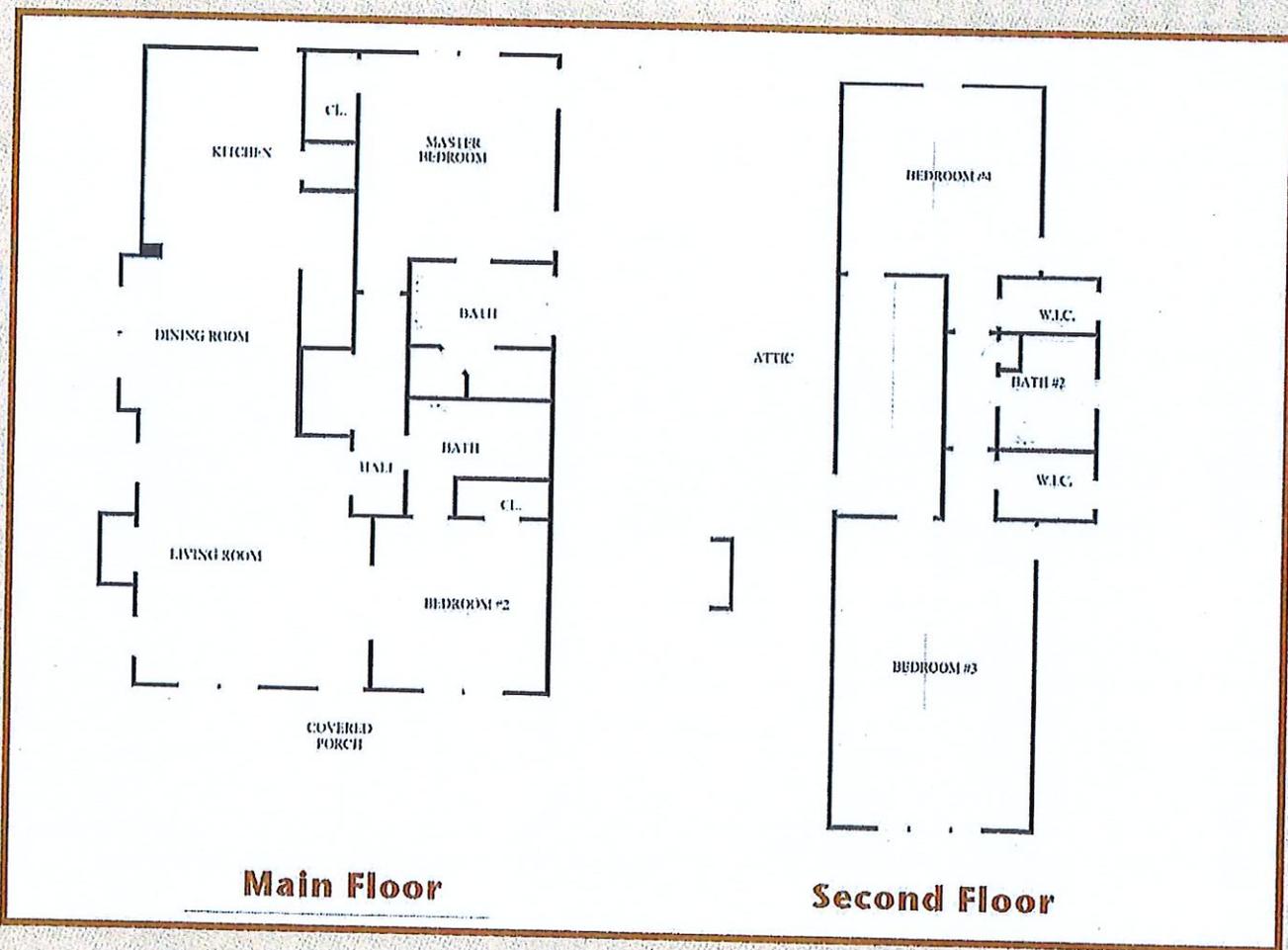
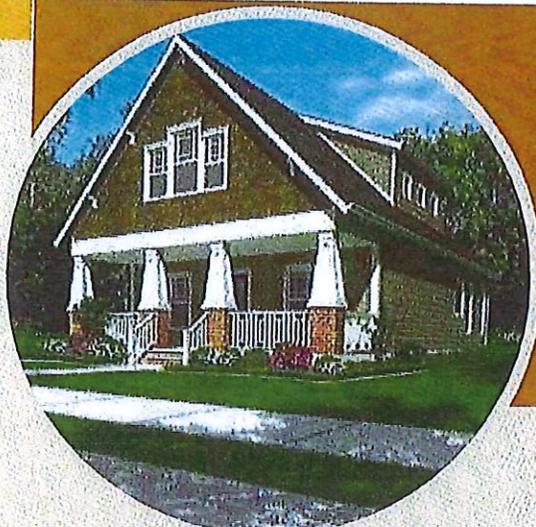
Main Floor



Second Floor



St. James





City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor, Cynthia Boone

RE: **Request for the City Council to schedule a public hearing regarding a Proposal to Purchase and Develop eight (8) parcels of City-owned property and, consideration of an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.**

PURPOSE: Request for the City Council to schedule a public hearing regarding a Proposal to Purchase and Develop eight (8) parcels of City-owned property and, consideration of an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.

REASON: To hold a public hearing and consider an Ordinance that authorizes the City Manager to execute a Purchase Agreement and proceed with the sale of City-owned property in accordance with applicable legal requirements.

RECOMMENDATION: The Department of Economic Development is recommending a new purchase agreement be drafted between the City and Chilon Bolton for the purchase of City Owned property located at 427, 429, 431, 432, 438, 440, 452, and 602 Harrison Street for the proposed purchase price of \$30,750.

BACKGROUND: In 2018, Mr. Chilon Bolton submitted proposals to purchase City owned property located at 427, 429, 431, 432, 438, 440, 452, and 602 Harrison Street to build single family homes. The assessed value of the eight (8) parcels totaled \$61,500 at that time. Mr. Chilon proposed a counteroffer for \$5,000. The City Council approved the proposals and offer price of \$5000 in February 2019. Mr. Bolton provided his earnest deposit of \$500. The Purchase Agreement was executed on February 27, 2019.

Per the requirement of the purchase agreement, the developer had a 120-day due diligence period to provide documentation for staff to draft a Development Agreement to be approved by the Council and included in the deed. Mr. Bolton failed to comply and produce the requested documents (site plans, financial statement, etc.) within the specified timeframe. This resulted in the purchase agreement to expire and the eight properties were not closed on.

On June 23, 2020, Mr. Bolton reached out to Carthan Currin, former Economic Development Director.

Evidently from the email records available, no actions were taken until October of 2020.

In October 2020, The Department of Economic Development, after researching and analyzing the old purchase agreement, contacted Mr. Bolton to advise him that a new purchase agreement would need to be drafted due to his old purchase agreement expiring and requested he provide a copy of his site plans, business plan, and financial statement. On November 9, 2020, Mr. Bolton submitted the requested items.

On December 8, 2020, the Guidelines for the Disposition of City Owned property were revised and adopted by the City Council.

On December 11, 2020, staff advised Mr. Bolton that the previous proposed purchase price in the amount of \$5,000 does not conform with the new guidelines. Staff responded with a counteroffer in the amount of \$30,750. Mr. Bolton declined the counteroffer and asked for the council member contact information for the specific wards that the properties were located. Staff provided him with this information. The Department of Economic Development staff has had no further communication with Mr. Bolton since December 11, 2020.

ISSUE:

The current purchase agreement between the City of Petersburg and Chilon Bolton has expired. The applicant's proposed purchase price for \$5,000 does not conform with the revised Guidelines for the Disposition of City Owned Real Estate Property adopted by City Council on December 8, 2020.

COST TO CITY: Conveyance of Real Property

BUDGETED ITEM: NA

REVENUE TO CITY:

Revenue from the sale of property and associated fees and taxes.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: NA

AFFECTED AGENCIES: City Manager, Economic Development, City Assessor

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: 19-ORD-15 Authorizing the city manager to execute documents related to the sale of city owned properties located at 427, 429, 431, 432, 438, 440, 450, 452, and 602 Harrison Street

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. Previous Agenda Item, Purchase Agreement, Tax Map, Assessment Forms, and Ariel



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH:

FROM:

RE: Minutes of February 16, 2021 Special City Council Meeting on the CAFR

PURPOSE:

REASON:

RECOMMENDATION:

BACKGROUND:

COST TO CITY:

BUDGETED ITEM:

REVENUE TO CITY:

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES:

AFFECTED AGENCIES:

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION:

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. February 16, 2021 Special City Council Meeting CAFR Minutes

The Special City Council Meeting of the Petersburg City Council was held on Tuesday, February 16, 2021, on live stream. Council Member Parham called the Special City Council Meeting to order at 10:43a.m.

1. ROLL CALL:

Present:

Council Member Charles H. Cuthbert, Jr
Council Member Treska Wilson-Smith
Council Member W. Howard Myers
Council Member John A. Hart, Sr.
Council Member Darrin Hill
Mayor Samuel Parham

Absent: Vice Mayor Annette Smith-Lee

Present from City Administration:

City Attorney Anthony Williams
Clerk of Council Nykesha D. Jackson
City Manager Aretha R. Ferrell-Benavides

2. UPDATE AND DISCUSSION:

- a. Update on the City of Petersburg FY2019/2020 Comprehensive Annual Financial Report (CAFR)

Mrs. Benavides stated, "Thank you Mayor and council. This is an opportunity for us to come together and talk about our CAFR. As many of you are aware, we have completed a lot of work in a short amount of time. Today's CAFR is the result of work on behalf of our staff, our consultants, our finance staff, and the City staff in trying to get this thing done. Yes, it is not on time, but it is the perfect timing to give this information. Today, I have with me today Ms. Patrice Elliott, and I will give you an overview of what we are going to do. She is going to talk about the financial statement and take you through the basics of it. I also will have Mr. David Foley, who will be online and talk to us a little bit about the audit overview. And then we will have Ms. India Jacobs-Adams and Mr. David Foley, who will talk about our management findings and results. We are fortunate to have a team of individuals as I mentioned earlier. So, Ms. Patrice Elliott, our finance director, has been leading us now for almost two years. And her work in helping us as you have heard is to change our perspective of who we are and where we are going is very important. What we are doing today is remarkable. What we have done thus far is remarkable. What she has done with India is beyond anything that we could have imagined. We are going to give you the best news that the City can possibly give. We are going to share with you that we are not only in good financial condition but that we are in better condition than we have ever imagined as an organization and City. When I first came here one of the discussions was the fact that we needed to sell our water system. And in selling our water system we were hoping to get about \$30 million dollars with a net which would have been about \$10 million dollars after paying off all our debt. What I am going to say to you today is that you made the right decision as a City Council to bet on Petersburg. And our success today is a result of your decision and what you have done for us today. Ms. Patrice is getting ready to take you through not only the CAFR but the purpose of a CAFR. And just to highlight how far we have come. When we started this conversation, I believe my first day we are at a negative \$7 million dollar deficit. We were fortunate in a few months to announce that we were done to \$100,000. Within the next year we were at \$2.3 million dollars. By the following year of last year, we were so please to say that we had finally got to a \$8 million dollar fund balance. What Ms. Patrice is getting ready to share with you and the citizens today is that we are now at \$12.9 million-dollar unassigned fund balance. That is something remarkable but that is a lot of hard work, a lot of sacrifice and the due diligence of having the right people in the right place at the right time. And now Ms. Patrice will take you through our slide of findings."

*Audio available upon request.

Patrice Elliott, Finance Director, gave a briefing with a PowerPoint on the 2020 CAFR.

Key points:

- At the conclusion of the CAFR preparation and audit process, the City's external auditor renders an opinion on whether the City's financial statements fairly present the results of the City for the period reported.
- The types of opinions that can be rendered are unmodified, qualified, adverse, and disclaimer.
- The City of Petersburg received an overall unmodified opinion on the audit of its financial statements for the second year in a row.
- An unqualified opinion or "clean opinion" is an independent auditor's judgment that the financial statements are fairly and appropriately presented, without any identified exceptions, and in compliance with generally accepted accounting principles.
- The City received an unmodified opinion on each unit assessed included the Public Utility Fund.
- The CAFR presents up to three (3) different types of financial statements as part of its "Basic" Financial Statements. The types are: Governmentwide, Statement of Net Position and Statement of Activities.
- All the slides including the CAFR will be posted to the website.
- Statement of Net Position is a snapshot of City's assets and liabilities under the accrual basis of accounting at the end of each fiscal year.
- For 2020, the assets exceeded the liability by \$40 million and this is a 57% increase as compared to FY2019.
- The net position is divided into three major categories: net investments in capital assets (property, plant, equipment owned by the City, restricted net assets (nonexpendable and expendable), and unrestricted net position (available for use for any lawful position).
- The statement of activities reflects the City's revenue and expenses for its governmental and business-type activities. The general property taxes are \$34,934,870.
- The largest expense is in the public safety area and then in the health area (Social Services.)
- Governmental funds consist of the general fund, capital projects fund and non-major funds.
- The unassigned fund balance for the general fund increased from \$8,060,337 in FY2019 to \$12,936,270 in FY2020 or by 60% and \$4,875,933.

Mrs. Benavides gave an update on the group that helped with presenting the CAFR.

Key points:

- Lionel Lyons, Darnetta Tyus, Kenneth Miller, India Adams-Jacobs, Patrice Elliott, Robert Floyd, David Foley, David Myers, and Stacey Jordan assisted with completing the CAFR.
- The big news is the \$12,936,270 million dollars in the new unassigned fund balance.

Mrs. Adams-Jacobs gave PowerPoint presentation.

Key points:

- Material Weakness -Utility billing errors and insufficient edit checks -Utility bills processed whereby material adjustments were needed to correct the initial billings. – With a recommendation that the City implement procedures to ensure adequate edit checks are performed prior to finalizing the billings.
- Material Weakness – Lack of internal controls over adjustments to customer utility accounts – Internal controls should be in place over adjustments to customer utility accounts to prevent unauthorized write-offs to customer account – With the recommendation that the City implement internal control over adjustments to customer utility accounts to prevent this problem.

*Audio available upon request.

- During the fiscal year ending June 30, 2019, the City recorded material adjustments to utility bills and the City did not retain documentation supporting the purpose or reason for adjustments. The recommendation to the City is to retain appropriate documentation to support and substantiate adjustments made to utility bills.
- The City's finance department posted various one-sided journal entries. For example, a journal entry was posted that only included a credit of \$1,549,067.49 and did not have a corresponding debit to balance the entry. The recommendation is that the City ensure that one sided journal entries are not posted to the accounting system.

David Foley, auditor, gave a briefing and update within the PowerPoint presentation.

Key points:

- The City was not reconciling the Utility Billing Subsidiary System to the General Ledger monthly. It was recommended that the City implement procedures to ensure the Utility Billing Subsidiary System reconciles to the General Ledger and any differences noted during the reconciliation are documented and corrected.

Council Member Cuthbert stated, "I am troubled by the continued reference to findings of insufficiency in the utility fund. I do not understand why this has not been resolved. Would the administration address that? Why have these shortcomings not been resolved? I have been on City Council for a little over four years. This billing fund has always been an issue. And here we are more than four years after I got on council being presented with a finding that the utility billing is not being reconciled to the general ledger on a monthly. Why is that not happening? Does this come to a surprise to anyone?"

Mrs. Benavides stated, "Ms. Elliott is going to speak to that. It is actually in the management finding in our response. But I will let her speak to what we stated."

Ms. Elliott stated, "This CAFR covers the period of July 1, 2019 to June 30, 2020. So, those several policies, procedures and processes have been put in place to further strengthen the reconciliation between the utility fund and the general ledger. It did not exist all year. So, if those controls did not exist July 1, 2019, we do not get credit for having policies and procedures in place. Though we expect it not to reoccur there is a number of key elements that still need to take place. If you notice in the first finding for FY2020, part referenced the MOU between the treasurer's office. Reconciliation of all accounts receivable balances to the ledger is a responsibility of the treasurer's office. Now if you notice in this finding and other findings there is a reference to Fund 999. Fund 999 is not a recordable fund in the financial statement. It is the balancing fund that occurs when cash comes in and when we bill real estate and personal property. They do not hit the funds. They actually hit Fund 999, which is the treasurer accountability fund. Although we have instituted an MOU with the treasurer's office and though we have reimplemented the relationship between our preaudit staff, it is not where it once was. And so, it is taking some time not only with policy and procedures but with skill set from our preaudit partners. And we revisited both of our relationships with our pre-auditors. Because the reconciliation task that we have with the treasurer's office, and we actually have in the language of the MOU as well as in the scope of our preaudit contract that those resources will be aligned with the treasurer's office to help with that reconciliation. So, cash is where pretty much where everything is. So, reconciliation to the ledger is between accounts receivable and the treasurer accountability fund. So, part is timing. So, the hope is that come next year we will have checkpoints to ensure on a quarterly basis that the ledger is reconciled between the treasurer's office and utility billing. Billing and collections provide to the treasurer's office the amount billed so that they can reconcile to the ledger. Now, there is another component. I apologize for the long answer. But it is very complicated. There is a such thing called a Treasurer Department to G.O. Interface. And basically, what we have also identified is that there is a configuration mapping that when you bill something to the utility billing ledger that it automatically updates the ledger. Yes, we were able to eliminate the findings to the one-sided ledger and to not balancing funds. The treasurer accountability remains a concern. There are some skill sets

*Audio available upon request.

that exist in the treasurer's office, but that skill set needs to be augmented by our preaudit staff and with finance staff so that we can identify when things are not hitting the ledger appropriately. We do not have that skill set fully yet, but we are working on that. I am sorry for the long answer, but I am trying to paint a mental picture for you. But part of that reconciliation by our preaudit staff once did that we are working towards them doing again is working with the treasurer's office on those reconciliations. Because everything that bills and hits the ledger it hits 999. That is the treasurer accountability. So, we are educating them as well because they lost some of that knowledge skill set during turnover as to what those responsibilities are in the ledger."

Council Member Cuthbert stated, "Well I appreciate the response but as a member of council I do not see that I am capable of following all the details. And I do not think that it is council's responsibility to master all that detail. I think that it is our responsibility to require the administration to master that detail and to eliminate findings like this in the future. And that is the benchmark that I am putting down and would like to see us meet."

Ms. Elliott stated, "Point well taken."

Council Member Cuthbert stated, "I do not know how to say it more clearly and if administration cannot solve this problem without court intervention then we need to have a closed session to discuss court intervention. But the problem needs to be solved. I trust that the CAFR for the upcoming fiscal year and I am talking about 2021-2022 will not have such findings in it. We need to solve this problem. Excuse me, the administration needs to solve this problem. And council needs to require the administration to solve this problem. Our responsibility is to require the administration to meet that benchmark and that is my focus. So, I hope that I realize, and I am stressed that Mrs. Benavides is leaving us, but I trust that those who remain will take my concern to heart and do all they can to do one of two things. One, eliminate findings like the one that we just saw on the reconciliation or bring the problem to City Council in a closed session so that we can discuss how to solve this problem. But it needs to be solved. Thank you, Mr. Mayor."

Council Member Wilson-Smith stated, "When was the CAFR given to the City? When was this finalized?"

Mrs. Benavides stated, "This CAFR cannot be finalized until today when you approve it. So, it goes to the State based on your approval today."

Council Member Wilson-Smith stated, "What I am trying to figure out and understand is. We get this on the day of and there is so much to look at and decipher within the document. There is a lot in a CAFR. And I don't understand why we get it on the day of at 10:39am for a 10:30am meeting."

Mrs. Benavides stated, "Ma'am one thing that I can say to this one is that we gave it to you as soon as we got it. We got the final copies of it I believe last week. We could have waited but as soon as we got it, we gave it to you. And that is why we brought everybody together. There are questions to go back and forth and getting this book printed is a function of the auditors and it is a big deal and takes a lot of letters and signatures. And so, what you are getting, we got it when you got it. We got it Thursday in the snowstorm. And that is part of the challenge. From the auditor's standpoint, we did not want to hold it once we got it. With some of the changes going on, administrative wise, we wanted to present it to you as a team while everyone was still here."

Council Member Cuthbert stated, "Let us turn to the next hurdle to go over. When is the next CAFR due? And are we on track to meet that deadline?"

Mrs. Benavides stated, "Well sir, we are hopefully back on schedule. The pandemic has changed the world as we know it. For example, the due date when we asked this the last time has completely changed based on some backup due to COVID. Let us talk about general due dates Ms. Patrick as it relates to CAFR."

*Audio available upon request.

Ms. Elliott stated, "Generally, the CAFR is due in November on November 30th."

Mr. Foley stated, "Actually the State legislation changed that. The due date is December 15th."

Ms. Elliott stated, "They changed that after the pandemic."

Mr. Foley stated, "But that is actually a permanent change. That was not a one-time extension. The State legislature changed that in the code. So, that is if the State changes it again. But as of today, the due date is December 15th. It used to be November 30th and the State decided to change it by two weeks to December 15th. December 15th will be when the 2021 CAFR is due."

Council Member Cuthbert stated, "So, do we owe the State any CAFR's once we file this one."

Mrs. Benavides stated, "No, sir. We are up-to-date and completely CAFR caught up in the City of Petersburg. And our next fiscal year does not end until June 30th. And as of June 30th, you start that process now of preparing and getting documentation together. One thing that I must highlight, and Mr. Foley I will ask you to share this with us. How many other City's CAFR's are you responsible for beyond Petersburg? Approximately."

Mr. Foley stated, "I have about eight to ten that I personally manage."

Mrs. Benavides stated, "And I am him that question to say is we are in a queue with a number of individuals. So, we have to keep our process moving forward to make sure that ours is done in a timely basis. But that takes people like Mrs. India who actually have been capturing the data and making sure that we start doing the things that we know we have to do to do that. One of the things that we talked about just from a lesson learned that is important that really hinders our CAFR is that our last revenue source hits in June. And so, you got that extension for that revenue source that truly impacts making sure that we are accounting for all the funds properly for the fiscal year. And so, as Ms. Patrice and the revenue team and Mr. Lyons have been working on, have been looking at our billing dates. That was one of the reasons that we were looking at possibly moving some of those dates up so that for example, if yours is due on June 15th you may not pay until July 15th. But we still have to go back and account it to that year. So, those are some of the closeout issues that sometimes hamper us closing out a fiscal year so that Mr. Foley team can do their work. But we must continue to focus on as we talked about our revenue cycles and when it is due and making some decisions is whether it is in our best interest to have at the last two weeks of the fiscal year a major revenue source due. Anything you want to add to that Ms. Patrice."

Ms. Elliott stated, "City Manager is correct. It does make a strong business case to evaluate our revenue cycles and revenue streams when they are due. I know that we started with much of the revenue to benchmark with the other localities as to when their revenue is due. I know we looked at the pandemic and the neighboring localities and saw that they got all their revenue in for the year, but we still got two or three different due dates afterwards. And so, given that we have to convert everything that we do to an accrual basis of accounting. Which means that revenue is recorded when earned not when the cash comes in the door. We have to actual accrue what we receive in July and August back to prior fiscal year to actually close the period. So, it does allow us to do something earlier if we had earlier revenue services. The City Manager point is well taken."

Mayor Parham stated, "So, what is the ideal month that should be the cut-off. Is it June? Because what we are hearing is that it is a little late for that last revenue source to come in. That is something that we do need to change to expedite our CAFR during general time. Checks are still coming in the door in August and you are not able to reconcile that. Ideally what should be the cut-off so we can look at making that correction?"

*Audio available upon request.

Ms. Elliott stated, "We have to take that question back to the work group. Sometimes it is not necessarily an idea cut-off but frequency. So, for example we bill right not four times a year for real estate. Do we want to go to one time a year or do we want to go to twice a year? The pandemic has muddled up things a bit. People's money is just funny. So, it is hard to make a decision now. So, we probable would wait to see if some things rebound. I would more so look at frequency. A lot of people bill real estate and bill the first half of the year. But we do have a good work group that have started looking into that."

Mrs. Benavides stated, "So, tying into what she said is that they have a work group that has been looking at it. That is a joint effort between the treasurer's office, the commissioner of revenue, the finance department, Mr. Lyons, budget, and procurement. Everybody has been working together. One of the things that I leave behind is yes, the pandemic changed everything. But it does not keep us from making decisions on what we are going to work into. We cannot roll out a change this large in that same fiscal year anyway. But if we figure out what is our ideal scenario, what we can focus on is how do you roll that into the future. I believe that it would be warranted at this point that we bring this presentation of where we are back to a work session just to sit down and talk about what those numbers are and what was the best practice that they discovered. And start the conversation of if we are going to roll it out and what would be that phased approach. We may not move everything at one time. But ideally you cannot close. I think this year we did not close the fiscal year until the end of September. The auditors cannot even come in and start their work until you close. And closing require that you receive, and you have accounted for all the potential funding. We have done a lot of cleanup that makes this job a little bit easier. But it is still a day-to-day operation that someone has to stay cognac of. And the treasurer has built up his staff and they understand what they are doing, and they are getting the job done but that partnership that has become a norm right now between the finance office and the treasurer's office has to continue for that reconciliation and the closer procedure."

Mayor Parham stated, "Right. And this is something that you would not know unless you are the collector of City taxes. One of the biggest that they had in Petersburg was not knowing what was coming in the door and now not knowing that we would have a delay or potential delay in CAFR's because of the last month of revenue that comes in around June and it takes one or two months to clear that out. So, it is giving us a huge opportunity to understand the funding. I cannot applaud our team enough. I thank Mrs. Benavides for putting together the dream team of financial management. Everyone that came together on this team went above and beyond and made some incredible hits. I cannot thank you all enough. And it is a huge task. The City is looking at \$12.9 million compared to where we were a short time ago. They were saying that Petersburg was going to be split up between Dinwiddie and Prince George because of the lack of financial revenue coming into the City. And we had to make some very tough decisions that were unpopular. Our constituents really did not understand the magnitude and the depth of what we were diving into. And you saw from that chart that even in 2010 they did not understand the financial function and what was going on. They continued to band-aid it up. And having that expertise at the table, I cannot thank Mrs. Benavides enough for what she has done. Even with Ms. Elliott and what she has done with the finance department it has been remarkable. I know that it looked like before you got there. It was a tremendous mess. And I thank you so much for what you did. Because that was a tall task. And what you done there has been quite remarkable. And I cannot say enough about Mrs. India Adams-Jacobs. You have done a tremendous amount of work. I have seen you winning, and I have seen the birth of a baby and keeping us on task and steady pushing and steady saying what we need. Everyone that has been here it has been phenomenal as well. Thank you and whatever we can do to support you I just want you to know that council is definitely in support of each and every one of you all. And we thank each and every one of you all for your service for the City of Petersburg. Because this is something that myself and Councilman Myers, when this thing was on fire everyone went numb. So, thank you for coming. And that is something that people do not do enough of. Everyone has a choice of where they want to work. And it takes those that have a strong spirit and a strong believe of their expertise and knowledge to come here and do this. And each and every one of you all are definitely heroes here in the City of Petersburg. So, keep pushing and driving on. Next, I have Councilman Hill."

*Audio available upon request.

Council Member Hill stated, "I had the dream team written down. I want to thank the council first for taking the lead role and steps. I want to thank our financial team among all the directors and City Manager. One thing I noticed that when people cut their teeth here it is heartening that they leave and go somewhere else. So, I thank all that are here, and I wish the best to all those that are leaving here. We want you to stay and we understand that life happens, and you have to make those decisions for your family. So, this team has been remarkable. But this is the time to celebrate. Of course, we still have some challenges. But we are not nearly where we were some years ago. So, there have been so many audits and our finances have been dug into from different directions and different people, from the state, from outside, from the Robert Bobb Group, and from our own staff. So, this is a breath of fresh air in doing three CAFR's in a short period of time like this. It is amazing. And I am going to be honest with you, I know people are in a time crunch, but I am about getting it right. And that is with anything. Whether you are filing your taxes, doing your budget, or getting your own home. I am more about getting it right. We are not trying to kick the can down that road, but you guys have been working hard and we see it. I know that we do not have a lot of interaction with you all because mainly we cannot other than we are not in a City meeting or things of that nature. I do not want to start calling names because I will miss someone. But the five individuals I see in front of me I would like to thank you all. And our workers to, all the directors and all the different departments, we have to be conservative. And this is going to be the new norm for us. Just cannot spend everything that comes in. We have to continue to be conservative, especially in these times. Businesses are closing. Thank the Commissioner of Revenue as well. And hopefully the relationship with our treasurer will continue in time. But I really want to thank council. You said Council Member Myers, but we were here to as well. Thank the residents as well for being patient. Thank you, Mr. Mayor and members of council."

Vice Mayor Smith-Lee stated, "We are getting it right. Right is right and wrong is wrong. I just want to give a special shout out to you City Manager, Deputy City Manager Lyons, and Darnetta Tyus."

Council Member Cuthbert stated, "I think that it may be an idea worth pursuing to change the receipt date for revenue streams since the current receipt date interferes with the ability to meet our CAFR deadlines. And so, I will ask if staff would report to council with a recommendation at our March work session as to what we should change the receipt dates for any of our revenue streams. And if so, how we should go about doing that. At that same March meeting I would ask the administration to give us a line-item detailed explanation of how we achieved this good news of going from \$8 million dollars to \$12.9 million dollars. I understand that I can do the math that there is almost a \$5 million dollar difference there. But how is it that we got there? Which contributors to our unrestricted fund balance have changed since our last CAFR in order to make this almost \$5 million dollar increase possible. I have no understanding of that. If someone asked me how did you guys do that, I would say that I do not know. And I do not. But I think council needs to know or deserves to know and that administration needs to know. Perhaps, we can replicate whatever it is that happened and keep growing that unrestricted fund balance without having a better understanding of how we got \$8 million to \$12.9 million. You are certainly not going to be able to pursue policies that will allow us to duplicate that into the future. So, those are two things that I would ask the administration to report to council at our March meeting. Mrs. Ferrell-Benavides, do you think that will give your staff enough time to do that or do we need to move to the April work session?"

Mrs. Benavides stated, "I will not be here, but Mr. Lyons has been leading these discussions. But I do believe it is worth having a discussion. He who will be here I believe can pull the team together. I do not want to forget to say Mr. Floyd. Because he is going to be one of those folks that can help you to understand how do we do this. Because everyone wants to know how do we do this. And I think the short answer that I want everybody to hold tight with is collected money. It had a budget problem, and it had a collection problem. So, we collected money. And by knowing what you have in you know what you can spend. And you only spent what you have and with Mr. Floyd's leadership you only spent what you know you had. So, therefore, you were not spending beyond what was available. So, those are the kinds of things that we have to continue to discuss

*Audio available upon request.

further because other people are going to ask that question. Is this a fluke? Is this a one-time thing? What did you do different? But number one is that you collected the revenue, accounted for it, and made sure that you were not spending money that you did not have. And so, I believe that Mr. Lyons and the team will be ready. I think that this will be a multi-time conversation to come back and share that information from the new team with you.”

Council Member Cuthbert stated, “Great. Thank you and I look forward to that conversation at our work session in March. Thank you, Mr. Mayor.”

Council Member Hill stated, “I forgot to ask a question. Does this increase our bond rating? Have we had any conversations about that? The next question is are we seeing any challenges if there are any other than what we identified in our billing cycle. Can you speak to that by any chance?”

Mrs. Benavides stated, “We met with the S&P last week. They were not going to do it during the pandemic. Our financial advisors wanted us to have one more meeting before my departure and with our team together. We had a group of individuals to include the Mayor, myself, Mrs. India, Ms. Patrice, Mr. Floyd, Mr. Lyons, Ms. Tyus and if I miss someone please forgive it was not because it was intentionally. But we got together and talked about what is happening in the City. They asked the same question you are asking. And generally, because of the pandemic they expected the performance to be not as stellar. And they will be having their meeting and if you let me log in, I would love to log in and hear the results from wherever I am. I am very hopeful, and I do not see any reason why you would not see a change in our rating. The only thing that has limited the rating increase in a conversation that would have normally happened in September is that no one had any expectation to tell where we were going because of the fact of the pandemic. But one of the things that we were able to say was that in February of this year we were coming back with a budget amendment. And so, we froze funds, but we also developed a budget in which you are going to talk about today that we went straight in and started slashing revenue projections and our expenditures for even this fiscal year in advance. Look at what we brought to you as a budget amendment and what you are going to find is that we went so far to an extreme of cutting that we are able to put money back into the system because our revenues are performing better than expected. So, therefore we are able to spend money a little bit different but even our expenditures are not a level. Everything that I say to you in this is that you have got to look at it often. Budget amendments have to be a part of it and then the key is making those tough decisions. They may hurt but the sooner the better when things go bad you make the decision. And what council did with this budget that we adopted this fiscal year, we adopted a budget that was greatly reduced than prior times. And so, we were at the forefront of doing this when another City said let’s do a flat budget, we said no we know what happens. And that is where that success comes from. And that is part of the lessons learned is making sure that you are on it. And that last thing that Mr. Floyd and I brought from Texas is your revenue manual. You have got to understand where the money comes from, when the money comes in, who tracks it, how to track it, when to track it up and when to track it down. What are those things into changing this? And his team are actively on that. The next thing that I will say to you is that budget document and your strategic plan. Everyone that has seen this plan that Mrs. India started, and Mr. Floyd and his team completed it, but it is our plan. And all of our senior staff has gone through a briefing on this in making sure that this all ties back into the strategic plan. We have a vision, and we know what our goals are, and we know what we are trying to do as an organization. And so, the most important thing about that now is to make sure that all of the decisions that are made by our leadership all goes back to that plan and staying steadfast.”

There was discussion among City Council and staff.

Council Member Hill made a motion to accept the FY2019-2020 CAFR report. The motion was seconded by Vice Mayor Smith-Lee. The motion was approved on roll call. On roll call vote, voting yes: Cuthbert, Wilson-Smith, Myers, Hill, Smith-Lee, and Parham; Absent: Hart

*Audio available upon request.

3. **ADJOURNMENT:**

City Council adjourned at 11:45 a.m.

Clerk of City Council

APPROVED:

Mayor



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Jeremy Tennant

RE: **A request to authorize the Economic Development Authority to allow South Central Wastewater Authority to conduct due diligence (surveying, boring and archeological investigation) on the Roper Property (119, 130 Pocahontas Street) for a proposed ROW alignment extension.**

PURPOSE: To authorize the Economic Development Authority to allow South Central Wastewater Authority to conduct due diligence on the Roper Property for a proposed ROW extension through the property to connect from Pocahontas Street to Magazine Road. SCWWA is requesting access to the site for surveying, boring and archeological investigation. The EDA, by resolution, approved SCWWA's request contingent upon City Council approval due to an corporative agreement between both parties.

REASON: The EDA and the City have a Corporative Agreement that exists between both entities to communicate (information share) on any proposal requests on the Roper Property.

RECOMMENDATION:

It is recommended that the City Council approves this resolution authorizing the EDA to grant SCWWA to conduct preliminary due diligence on the Roper Property for a proposed ROW extension through the property to connect from Pocahontas Street to Magazine Road.

BACKGROUND: The SCWWA presented the Pocahontas Street ROW extension to staff for preliminary discussion in December of 2020. Staff worked with SCWWA to provide feedback on the preliminary proposal. Afterward, SCWWA, City Staff and Councilmember Cuthbert held community meetings share SCWWA's proposal and to gather critical feedback from the residents of Pocahontas Island. Three (3) community discussion meetings were held at the Pocahontas Chapel and via Zoom in February 2021. Thirteen (13) people participated either in person or via Zoom. Upon the conclusion of the Community Discussions, after receiving valuable feedback and recommendations from the Pocahontas Island residents, SCWWA provided an updated revision to the proposed ROW extension.

Staff observed that one crucial voice of the neighborhood was not present during any of the community

discussion, so staff reached out to the Pocahontas Island Elder to also receive feedback and recommendations from him per the updated revision. The Elder informed staff that a similar concept was considered years ago, and that the proposal utilized an existing ROW that exists upon a paper street, Haxall Lane. The submittal was provided for EDA discussion in March a day prior to the EDA presentation.

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: N/A

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES:

City Planning Department of Utilities and Capital Projects	Manager, and	Economic Community	Development Development
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AFFECTED AGENCIES:

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION:

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. SCWWA Request to perform Due Diligence on Roper Property
2. CooperationAgreement
3. SCWWA Truck Reroute EDA Discussion_03162021



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: Kenneth Miller, Interim City Manager

THROUGH: Lionel D. Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor, Director of Planning and Community Development
Jeremy Tennant, Assistant to the City Manager

Re: Request to adopt a resolution authorizing the Economic Development Authority (EDA) to allow South Central Wastewater Authority (SCWWA) to conduct due diligence (surveying, boring and archeological investigation) on the Roper Property for a proposed ROW extension through the property.

PURPOSE: To authorize the Economic Development Authority to allow South Central Wastewater Authority to conduct due diligence on the Roper Property for a proposed ROW extension through the property to connect from Pocahontas Street to Magazine Road. SCWWA is requesting access to the site for surveying, boring and archeological investigation. The EDA, by resolution, approved SCWWA's request contingent upon City Council approval due to an corporative agreement between both parties.

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COST TO CITY: N/A

REVENUE TO CITY: N/A

BUDGETED ITEM: No

CITY COUNCIL HEARING DATE: March 16, 2021

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: N/A

AFFECTED AGENCIES: City Manager, Economic Development, Planning and Community Development, Department of Utilities and Capital Projects.

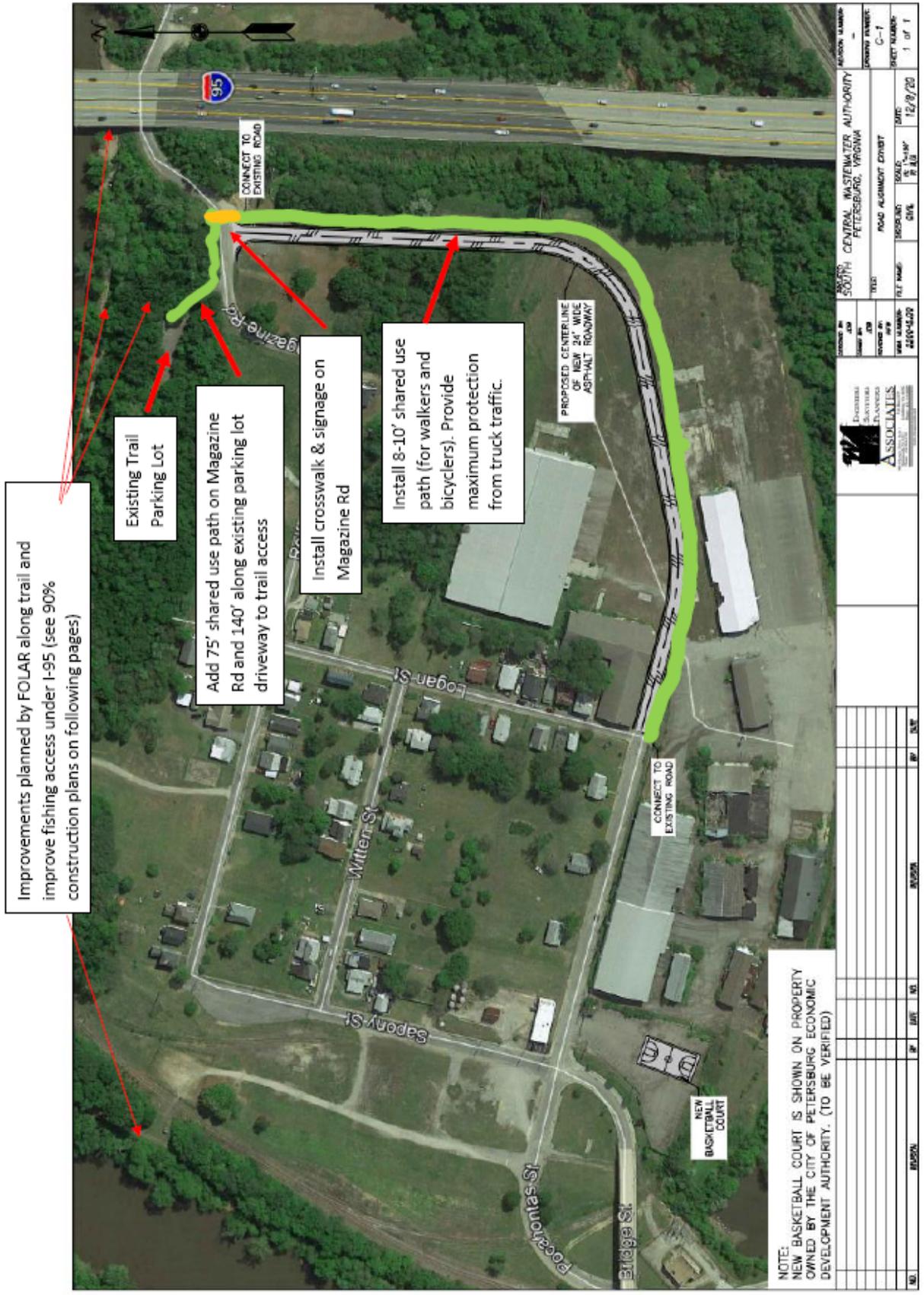
RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: No

REQUIRED CHANGES TO WORK PROGRAMS: No

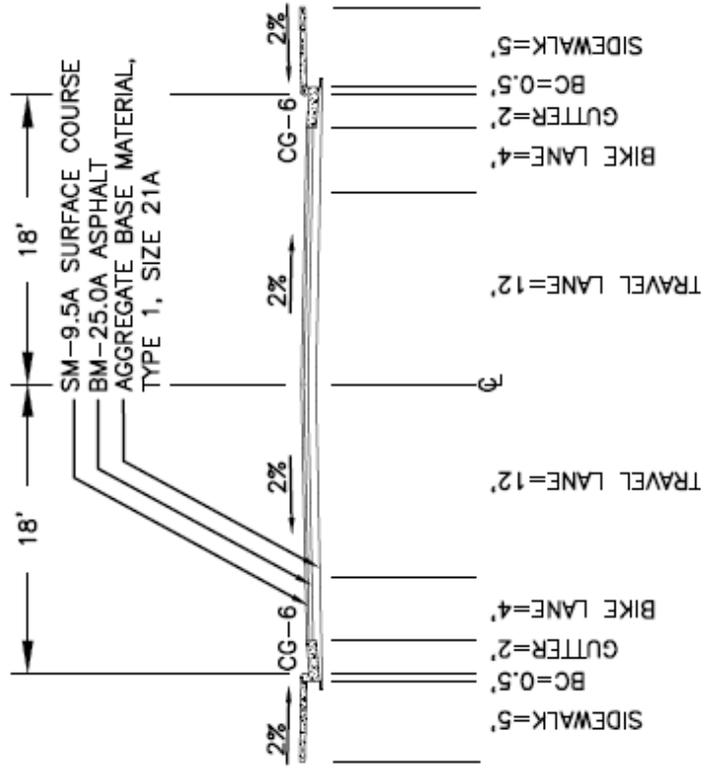
STAFF: Reginald Tabor, Director of Planning and Community Development. Jeremy Tennant, Assistant to the City Manager.

ATTACHMENTS: SCWWA Concept Plan, SCWWA Revised Concept Plan, FOLA Concept Plan, Road Alignment Exhibit, Pocahontas Island Elder Concept Plan, Roper Brothers Cooperation Agreement

FOLAR Concept Plan



Road Alignment Exhibit



DESIGNED BY: JOB	PROJECT: SOUTH CENTRAL WASTEWATER AUTHORITY PETERSBURG, VIRGINIA	REVISION NUMBER: --
DRAWN BY: JOB	TITLE: ROAD ALIGNMENT-EXHIBIT TYPICAL SECTION	DRAWING NUMBER: C-2
REVISION BY: HW	FILE NAME: DISCIPLINE: CIVIL	SHEET NUMBER: 2 OF 2
WMA NUMBER: 220045.00	SCALE: H: 1"=10' V: N/A	DATE: 02/26/21

THEREFORE BE IT RESOLVED, that the City Council of Petersburg, Virginia authorizes the Economic Development Authority to allow South Central Wastewater Authority (SCWWA) to conduct due diligence (surveying, boring and archeological investigation) on the Roper Property for a proposed ROW extension through the property.

ROPER BROTHERS COOPERATION AGREEMENT

THIS ROPER BROTHERS COOPERATION AGREEMENT is made as of this 18th day of August 2011, by and between the CITY OF PETERSBURG, VIRGINIA, a municipal corporation of the Commonwealth of Virginia (the "City") and the ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF PETERSBURG, VIRGINIA, a body politic and a political subdivision of the Commonwealth of Virginia (the "Authority").

RECITALS

WHEREAS, the City has concluded that the acquisition of certain properties in the City described as 130 Pocahontas Street and 119 Pocahontas Street (723 Logan Street), Tax Parcels 007-07-0009 and 007-08-0003, containing a total of approximately 25.8 acres, more or less, and 0.22 acres, respectively (the "Property") offers an opportunity to control a strategic real estate asset that may contribute to the development and redevelopment of Downtown Petersburg, specifically Historic Olde Towne and the areas along the banks of the Appomattox River creating full-time and temporary employment, generating increased tax revenues and promoting the safety, health, welfare, convenience and prosperity of the inhabitants of the City and Commonwealth of Virginia;

WHEREAS, the City has requested that the Authority, pursuant to authority provided in Title 15.2 of the Code of Virginia, acquire 130 and 119 Pocahontas Streets by Contract of Purchase, dated May 12, 2011, and Addendum to Contract of Purchase ("Addendum"), dated July 28, 2011, in substantially the forms attached hereto, through proceeds of an Authority Loan from SunTrust Bank secured by the general pledge of the City; and

WHEREAS, the City has concluded and the Authority concurs that the acquisition of the Property could provide significant future direct and indirect economic, physical and social benefits to the City, that the undertaking as contemplated herein is consistent with the Authority's purposes, and is in the best interest of the citizens of Petersburg and the Commonwealth of Virginia; and

WHEREAS, the City, by Ordinance adopted August 16, 2011, pledged general credit to secure the Authority Loan and has requested the Authority to undertake the implementation of this Cooperation Agreement, upon certain terms and conditions;

NOW, THEREFORE, in consideration of the benefits to accrue to the City and its citizens from the implementation of the Cooperation Agreement, and of the mutual covenants hereinafter set forth, the City and the Authority agree as follows:

1. **DEFINITIONS.** The following words and terms used in this Agreement have the following meanings unless the context clearly indicates otherwise:

Act shall mean the Industrial Development and Revenue Bond Act, Chapter 49, Title 15.2 of the Code, as amended.

Agreement shall mean The Roper Brothers Cooperation Agreement.

Authority Loan shall mean a loan in an amount not to exceed Two Million Five Hundred Thousand Dollars (\$2,500,000) made in accordance with this Cooperation Agreement and the Terms of Loan by SunTrust Bank, dated August 4, 2011.

Charter shall mean the Charter of the City of Petersburg, as amended.

Code shall mean the Code of Virginia, as amended.

Commonwealth shall mean the Commonwealth of Virginia.

Contract of Purchase shall mean the Contract of Purchase by and among the Authority and Hugh T. Antrim and Sarah B. Warner, Special Commissioners, dated May 12, 2011, and Addendum, dated July 28, 2011, taken together, to acquire the Property.

2. FUNDING and ADMINISTRATION. The City unconditionally agrees to transfer to the Authority from time to time, as and when appropriated by the City Council, all funds necessary to implement this Cooperation Agreement, including but not limited to the debt service of the Authority Loan, and all costs and expenses of the Authority in acquiring and maintaining the Property.
3. RESTRICTED ACTIVITIES. The Authority agrees that it will not sell, transfer, lease, encumber or in any manner create any rights within a third party without the written consent of the City, and that it will dispose of the Property as directed by City Council by either a properly adopted resolution or ordinance. .
4. ROPER BROTHERS PROJECT.
 - a. **Activities**. The Authority agrees to perform certain activities as described in this Cooperation Agreement and those which are otherwise necessary to own and maintain the Project, in a timely manner, and as further agreed by the City and Authority;
 - b. **Funding**. The City shall be solely responsible for the expenses related to the acquisition and maintenance of the Property, including but not limited to the expense of administration, insurance, environmental remediation, repair and maintenance. The Authority's obligation to undertake the activities is specially conditioned upon the City providing funding in a sufficient amount and on a timely basis. Upon the approval of this

Agreement and the general pledge by Ordinance of the City Council, the Authority will resolve and acquire the Property. The City Manager shall seek and use his best efforts to obtain all appropriations to enable the Authority to fulfill its obligations under this Cooperation Agreement.

c. **Acknowledgements of the City.** The City acknowledges that the Authority is acquiring the Property and entering the Authority Loan at the request of and to assist the City upon terms requested by the City. The City further acknowledges that a (i) Phase 1 Environmental Survey, by Dominion Due Diligence Group, dated February 23, 2011, identifies the existence of certain environmental defects with the Property and (ii) First American Title Insurance Company Commitment (B11-1489F), dated August 1, 2011, list exceptions to title in Schedule B, for which the City accepts sole responsibility.

5. INFORMATION SHARING. The Authority agrees to provide the City Manager or his designees with copies of all correspondence relating to its activities to be performed under this Agreement, including copies of all preliminary and final agreements and other contractual arrangements relating to the Project, and will keep the City Manager fully and timely informed of all developments relating to the implementation of the Project.
6. BUDGET. The Authority agrees that it will adhere to a budget if and when established by the City and the Authority.
7. GENERAL PROJECT FUND. The Authority agrees that any funds that may be transferred by the City to the Authority from time to time for the Project shall be

deposited by the Authority in a bank or banks designated by the City within a Project Fund, for such purpose to be used only in accordance with the budget approved by the City and the Authority.

The Authority agrees to transfer to the City any funds received by the Authority in connection with the Cooperation Agreement.

8. AUTHORITY LIABILITY. It is the intent of the parties not to impose upon the Authority any responsibility or liability other than what may be required to implement the Project specifically authorized under this Agreement.

Accordingly, the Authority does not assume any responsibility or liability whatsoever, especially environmental liability or exceptions to title associated with ownership of the Property, except as specifically stated herein. Should any liability accrue to the Authority, which is not specifically addressed in this Agreement, the Authority shall not be required to expend its funds derived from sources other than the funds provided by the City to discharge such liability.

The Authority is hereby authorized to expend such funds from the Project Fund as may be necessary to protect the Property and to prevent the entry of a default judgment against the Authority. If a lawsuit involving the Project is filed or expected to be filed against the Authority, the Authority shall immediately notify the City Attorney and City Manager. The parties acknowledge that the Authority has no general fund revenue and that the Project is subject to appropriations by the City Council, or to such project's own independent financial resources and limitations.

9. ACCOUNTING AND AUDIT. The Authority shall keep records of its financial transactions, if any, for the projects described herein in accordance with generally accepted accounting principles. The City and the Authority agree that the Authority may engage the services of an independent auditor to conduct an annual audit of the financial transactions, if any, undertaken for the projects described herein. Such audit shall comply in all respects with generally accepted accounting principles. The City Auditor shall have access to the independent auditor's work papers. In addition, the City Auditor or his designees may at any time audit the financial transactions undertaken under this Agreement. The Authority shall cooperate to assure that the independent external auditor and the City Auditor are granted reasonable access on a timely basis to all books and records of any party necessary to complete such audits, and will require appropriate provisions in furtherance of this objective in any contracts required under this Agreement.

10. [Left Intentionally Blank]

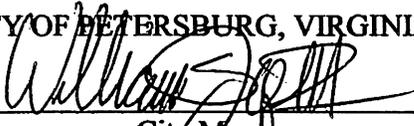
11. NO DISCRIMINATION. The City and the Authority agree not to discriminate, in carrying out this Agreement, against any employee or applicant because of race, color, religion, sex or national origin and shall take affirmative action to insure that applicants are employed and that employees are treated during employment without regard to race, color, religion, sex or national origin. Such action shall include but not be limited to employment, promotion, demotion, termination, rates of pay, other compensation and selection for training including apprenticeship.

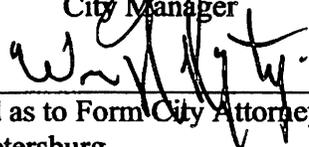
12. AUTHORITY BOND. The Authority shall not be required to furnish the City a blanket corporate fidelity bond surety as the officers and employees of the Authority capable of authorizing disbursements of funds or handling funds received or disbursed by the Authority from the City are employees of the City.
13. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the laws of the Commonwealth of Virginia.
14. NOTICES. Any notices required to be given under this Agreement shall be sufficient if in writing and sent by first class, registered or certified mail, return receipt requested; if to Authority, to the Chairman, 400 E. Washington Street, Petersburg, Virginia 23083, with a copy to Reynolds Wesley, PC, P.O. Box 5, Richmond, Virginia 23218-0005, or if to the City, William Johnson, City Manager, 135 N. Union Street, Petersburg, Virginia 23083, with a copy to William H. Hefty, Esquire, City Attorney. Either party may change its address for purposes of notice by giving notice to the other in accordance with this paragraph.
15. NO ASSIGNMENT. This Agreement shall be binding upon and shall inure to the benefit of the successors and permitted assigns of the parties hereto; provided, however, that in no event may this Agreement or any of the rights, benefits, duties or obligations of the parties hereto be assigned, transferred or otherwise disposed of without the prior written consent of the other, which consent neither party shall be obligated to give.

16. NO THIRD PARTY RIGHTS. No third party rights are created by this Agreement.

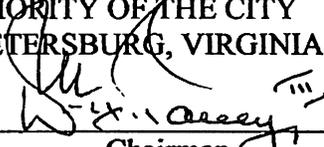
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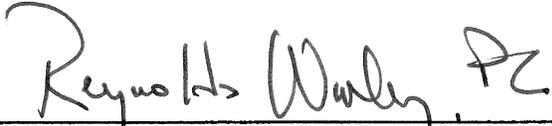
CITY OF PETERSBURG, VIRGINIA

By: 
City Manager


Approved as to Form City Attorney of the
City of Petersburg

ECONOMIC DEVELOPMENT
AUTHORITY OF THE CITY
OF PETERSBURG, VIRGINIA

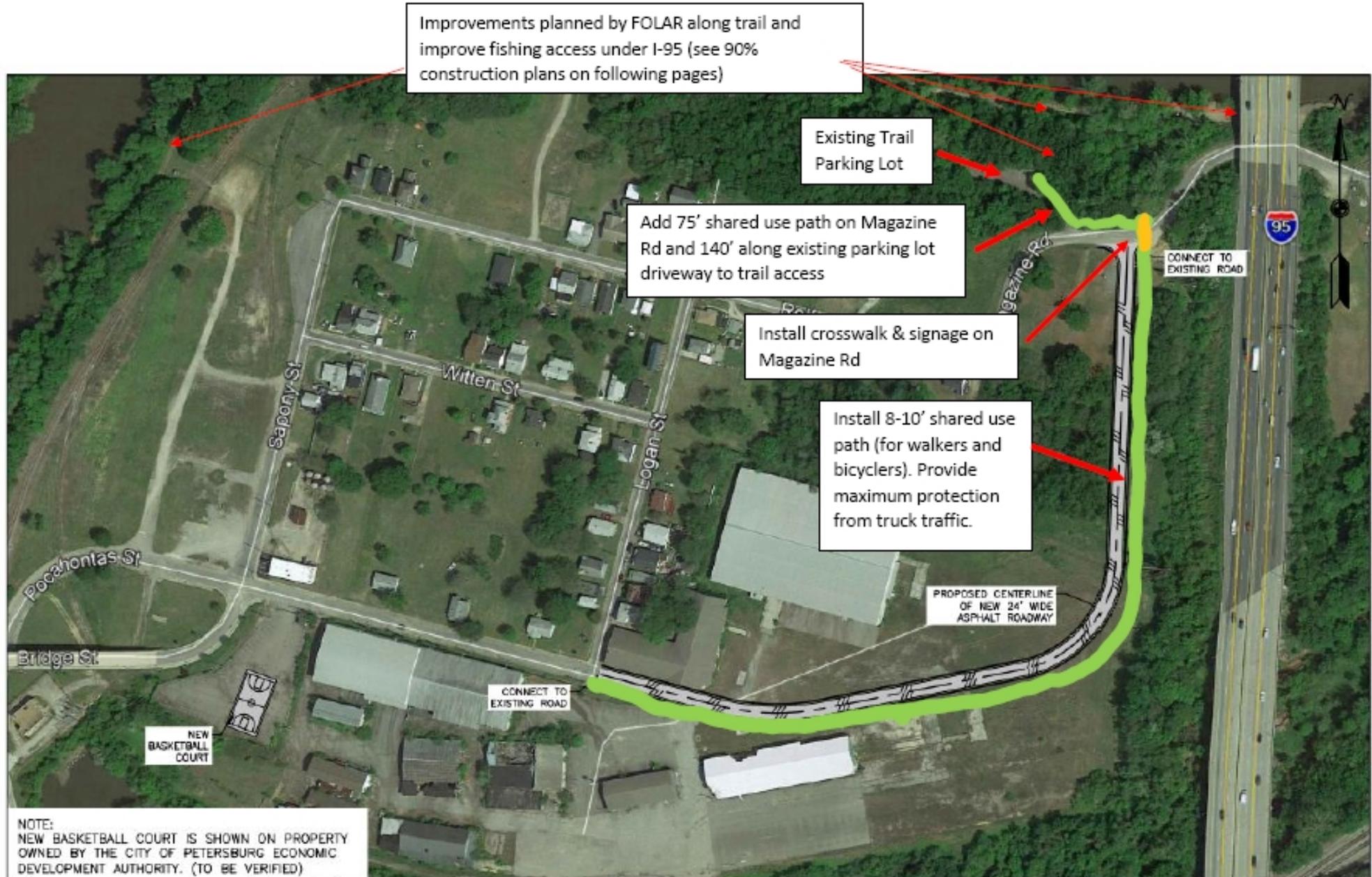
By: 
Chairman


Approved as to Form by Reynolds Wesley,
P.C., Counsel to Economic Development
Authority of the City of Petersburg, Virginia

SCWWA Proposed Truck Reroute on Pocahontas Island

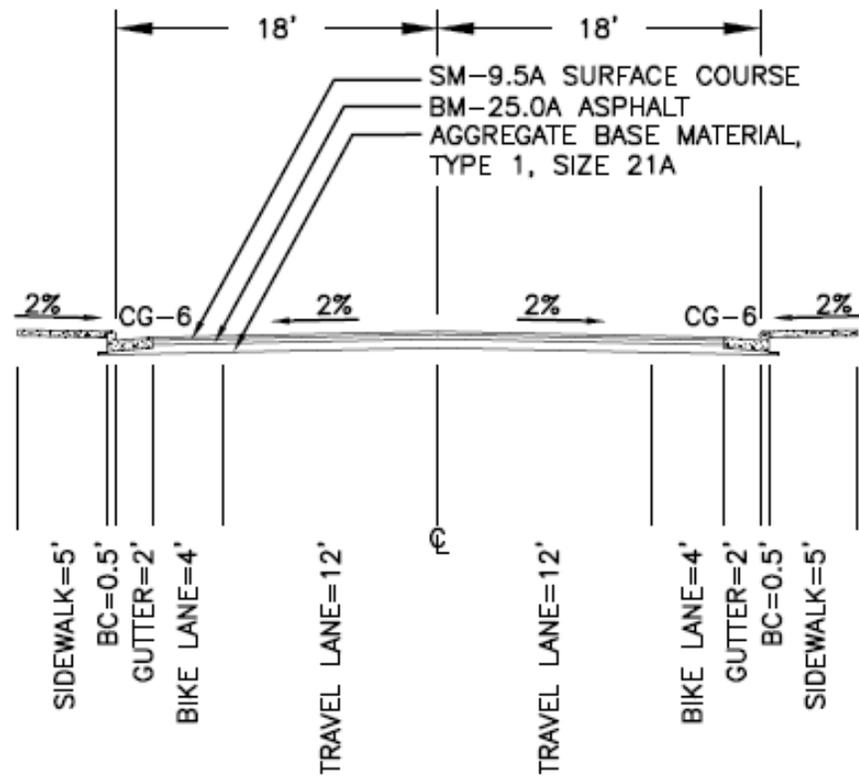
Site Due Diligence Request Discussion

FOLAR Concept Plan



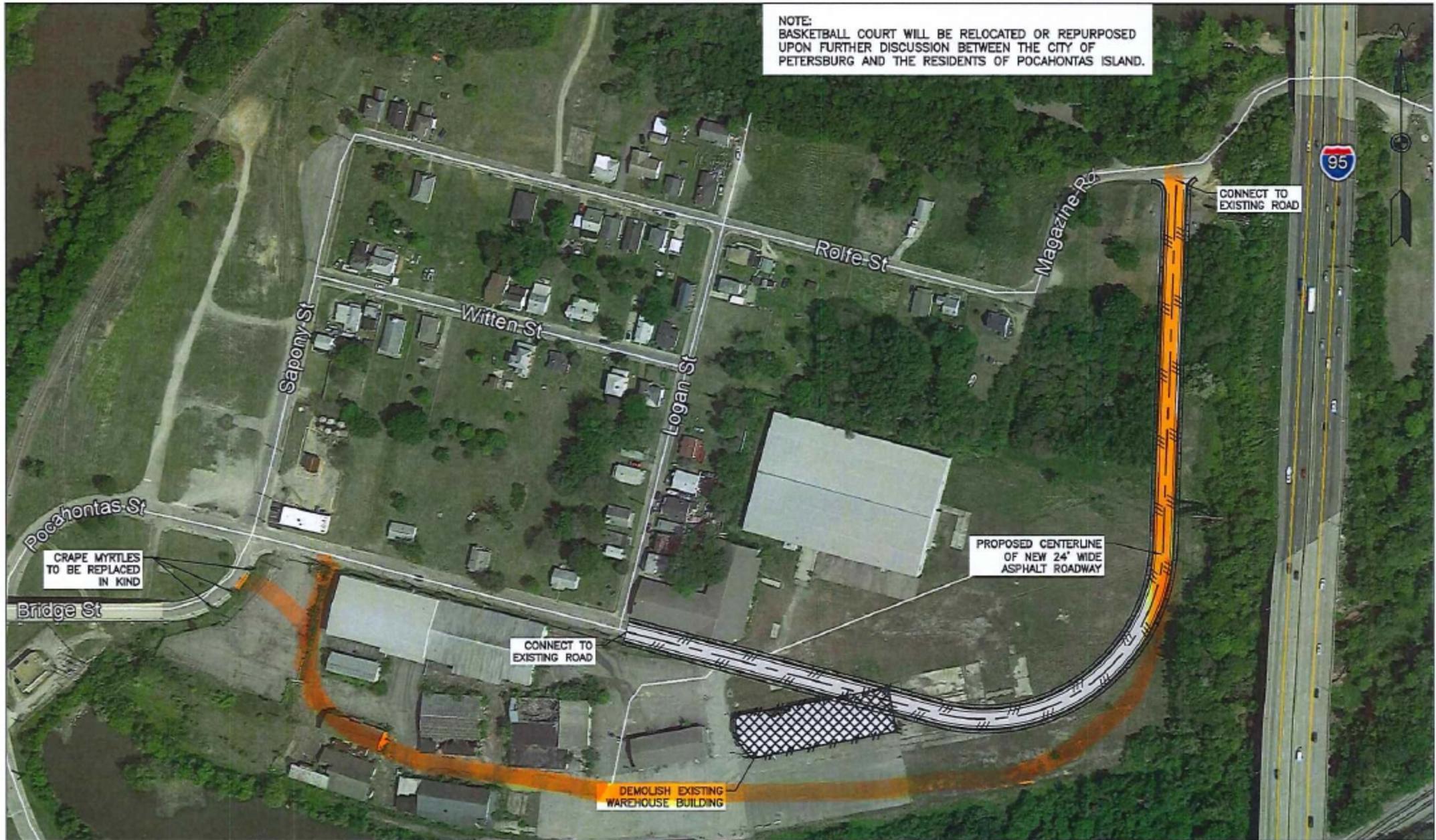
NOTE:
NEW BASKETBALL COURT IS SHOWN ON PROPERTY OWNED BY THE CITY OF PETERSBURG ECONOMIC DEVELOPMENT AUTHORITY. (TO BE VERIFIED)

												DRAWN BY: JEM CHECKED BY: JEM REVISION BY: JEM DATE: 12/9/20				SOUTH CENTRAL WASTEWATER AUTHORITY PETERSBURG, VIRGINIA ROAD ALIGNMENT EXHIBIT DATE: 12/9/20				REVISION NUMBER: - DRAWING NUMBER: C-1 SHEET NUMBER: 1 of 1			
NO.	DESCRIPTION	BY	DATE	NO.	DESCRIPTION	BY	DATE																



DESIGNED BY: JDB	PROJECT: CENTRAL WASTEWATER AUTHORITY PETERSBURG, VIRGINIA			REVISION NUMBER: --
DRAWN BY: JDB	TITLE: ROAD ALIGNMENT EXHIBIT TYPICAL SECTION			DRAWING NUMBER: C-2
REVIEWED BY: HPW	WMA NUMBER: 220045.00	FILE NAME:	DISCIPLINE: CIVIL	SHEET NUMBER: 2 OF 2
		SCALE: H: 1"=10' V: N/A	DATE: 02/26/21	

Stewart Concept Plan



NOTE:
BASKETBALL COURT WILL BE RELOCATED OR REPURPOSED
UPON FURTHER DISCUSSION BETWEEN THE CITY OF
PETERSBURG AND THE RESIDENTS OF POCAHONTAS ISLAND.

NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

W ASSOCIATES
ENGINEERS
SURVEYORS
PLANNERS

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Petersburg, VA 23103
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DESIGNED BY: JED
DRAWN BY: JED
CHECKED BY: NEW
WMA NUMBER: 220045.00

PROJECT: SOUTH CENTRAL WASTEWATER AUTHORITY
PETERSBURG, VIRGINIA

TITLE: ROAD ALIGNMENT EXHIBIT
EDA RECOMMENDATIONS

FILE NAME: DISCIPLINE: CIVIL SCALE: H: 1"=150'
V: N/A DATE: 02/26/21

REVISION NUMBER: -
DRAWING NUMBER: C-1
SHEET NUMBER: 1 of 21





City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor

RE: **A Public Hearing and consideration of an amendment to the text of the City of Petersburg Zoning Ordinance regarding Small Box Discount Stores and Alternative Financial Institutions.**

PURPOSE: To consider an amendment to the text of the Zoning Ordinance regarding Small Box Discount Stores and Alternative Financial Institutions.

REASON: Amendments to the City of Petersburg Zoning Ordinance require approval of the City Council.

RECOMMENDATION: It is recommended that the City Council schedules a public hearing, considers and approves an ordinance amending the City of Petersburg Zoning Ordinance regarding Small Box Discount Stores and Alternative Financial Institutions.

BACKGROUND: The City Council initiated an amendment to the Zoning Ordinance in accordance with Article 28 of the Petersburg Zoning Ordinance, and requested a review and recommendation from the Planning Commission of a text amendment regarding Small Box Discount Stores and Alternative Financial Institutions.

The City's Zoning Ordinance currently does not contain a definition for or otherwise regulate "small box discount stores" or "alternative financial institutions." City Council expressed belief that defining these uses and possibly requiring a Special Use Permit for the location of any new small box discount stores or alternative financial institution would be of benefit to the City of Petersburg.

A 2019 report from the Urban and Regional Studies Planning Division of Virginia Commonwealth University indicates that "the City of Petersburg, Virginia has long suffered with issues of limited access to food and food insecurity" which resulted in the City being ranked last of Virginia's 133 cities in counties in the Robert Wood Johnson Foundation annual health rankings. The report indicates that "small box discount stores" (convenience and dollar stores) make up 67 percent of the food retailers in Petersburg, and that small box discount stores are most commonly recognized for providing food of low nutritional value in low wealth communities. Therefore there is concern that the concentration of these stores has and continues to negatively impact the health, safety, and welfare of our citizens and subsequent low health rankings.

Also, payday and title loan companies ("alternative financial institutions") provide short-term high interest loans to individuals and tend to be concentrated in areas with disproportionately low income and disproportionately minority populations. Studies such as the May 14, 2019 study by S. Ilan Guedj, PhD of

Bates White Economic Consulting conclude that the use of alternative financial institutions has a tendency to perpetuate debt and poverty by creating a dependency by borrowers upon such loans. The report indicates that in addition to prolonged indebtedness, the use of alternative financial institutions can increase financial delinquency and borrower delinquency, and exacerbate instances of default by borrowers. There is concern that the City of Petersburg has a disproportionately high number of alternative financial institutions located within the City limits, which adversely impacts the lives of City residents.

During a February 17, 2021 meeting, the Planning Commission is scheduled to consider the item and provide a recommendation to the City Council.

This is a Zoning Ordinance Text Amendment, to be considered by the City Council to amend the Petersburg Zoning Ordinance accordingly, after required public hearings and compliance with all other applicable law.

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: N/A

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: N/A

AFFECTED AGENCIES: Planning and Community Development, Economic Development

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: Resolution 21-R-8

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. 0216_2021OrdinanceDiscountStoresandCashEstablishments
2. Report_ Small Box Discount Stores and Alternative Financial Institutions

AN ORDINANCE AMENDING THE PETERSBURG ZONING ORDINANCE TO ADDRESS SMALL BOX DISCOUNT STORES AND ALTERNATIVE FINANCIAL INSTITUTIONS

WHEREAS, City Council may initiate amendments to the Zoning Ordinance in accordance with Article 28 of the Petersburg Zoning Ordinance; and

WHEREAS, a 2019 report from the Urban and Regional Studies Planning Division of Virginia Commonwealth University indicates that “the City of Petersburg, Virginia has long suffered with issues of limited access to food and food insecurity” which resulted in the City being ranked last of Virginia’s 133 cities in counties in the Robert Wood Johnson Foundation annual health rankings; and

WHEREAS, this report indicates that “small box discount stores” (convenience and dollar stores) make up 67 percent of the food retailers in Petersburg;

WHEREAS, the report indicates that small box discount stores are most commonly recognized for providing food of low nutritional value in low wealth communities; and

WHEREAS, the City believes that the concentration of these stores has and continues to negatively impact the health, safety, and welfare of our citizens and subsequent low health rankings; and

WHEREAS, payday and title loan companies (“alternative financial institutions”) provide short-term high interest loans to individuals and tend to be concentrated in areas with disproportionately low income and disproportionately minority populations; and

WHEREAS, studies such as the May 14, 2019 study by S. Ilan Guedj, PhD of Bates White Economic Consulting conclude that the use of alternative financial institutions has a tendency to perpetuate debt and poverty by creating a dependency by borrowers upon such loans; and

WHEREAS, said report indicates that in addition to prolonged indebtedness, the use of alternative financial institutions can increase financial delinquency and borrower delinquency, and exacerbate instances of default by borrowers; and

WHEREAS, City Council believes that the City of Petersburg has a disproportionately high number of alternative financial institutions located within the City limits; and

WHEREAS, the City’s Zoning Ordinance currently does not contain a definition for or otherwise regulate “small box discount stores” or “alternative financial institutions” as proposed in the attached (**Exhibit A**) and

WHEREAS, City Council believes that requiring a Special Use Permit for the location of any new small box discount stores or alternative financial institution would be of benefit to the City of Petersburg.

WHEREAS, the Petersburg Planning Commission is scheduled to consider the matter and provide a recommendation to the City Council.

WHEREAS, the City Council will conduct a Public Hearing prior to considering the ordinance.

NOW THEREFORE BE IT ORDAINED that City Council does hereby approve a Zoning Ordinance Text Amendment consistent with the attached (**Exhibit A**) initiated by the Planning Director and/or Zoning Administrator through the Planning Commission.

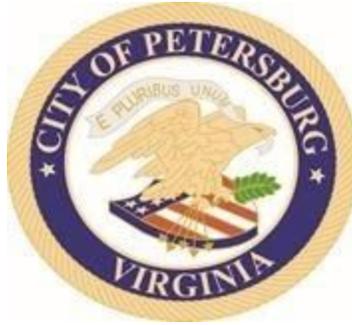
Exhibit A

**ARTICLE 3 SECTION 1 OF THE PETERSBURG ZONING ORDINANCE
“DEFINITIONS” IS HEREBY AMENDED AND RE-ADOPTED TO INCLUDE:**

small box discount store. Retail sales uses with a floor area less than 12,000 square feet that offer for sale a combination and variety of convenience shopping goods and consumer shopping goods; and continuously offer a majority of the items in their inventory for sale at a price less than \$10.00 per item.

alternative financial institution. Any check cashing establishment other than a federally or state-chartered bank, credit union, or savings and loan institution, which primarily offers motor vehicle title loan and/or payday loan services.

*In each district where the use meeting the definition of “small box discount store” or “alternative financial institution” as described above is permitted by right, upon adoption of this Ordinance shall be amended to require a Special Use Permit.



Report on Small Box Discount Stores and Alternative Financial Institutions in Petersburg, Virginia

Produced by the Department of Economic Development and the Department of Planning and Community Development. Special thank you to the City Assessor's Office for assisting in generating the GIS maps displayed throughout the document. January 2021.

Executive Summary

The objective of this report is to help define Small Box Discount Stores and other food-related stores in the Zoning Ordinance for Special Use Permitting purposes to help achieve positive health and economic outcomes for the City of Petersburg.

This report found that Small Box Discount Stores, Small Box Retail Stores, and Convenience Stores greatly outnumber Fresh Food Stores and Supermarket. Small Box Discount Stores, also commonly known as dollar-type stores, contribute to poor health and economic outcomes in many communities they are found in. Alternative Financial Institutions were found too to contribute to poor economic outcomes. While these types of stores were not overwhelming found in the poorest parts of Petersburg, as conventional wisdom would indicate, there is still justification in action by the City Council on behalf of the Petersburg community to better regulate food-related stores to better meet the needs of the constituency, which as of the writing of this report rank 133 out of 133 in health outcomes in the Commonwealth of Virginia.

Recommended actions include updating the Zoning Ordinance to define these stores, which are currently not defined at all. A moratorium is recommended on the construction of future dollar-type stores and Alternative Financial Institutions. Special Use Permit requirements are recommended to prevent dollar-type stores and Alternative Financial Institutions from opening within a certain distance of each other. The Special Use Permit for dollar-type stores should also mandate at least 10% of floor space be dedicated to the sale of fresh foods. Additional recommended actions can be found in the 'Proposed Action' section beginning on page 32.

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Preface

From the December 8, 2020 Petersburg, Virginia City Council meeting, City Council discussed the feasibility of Zoning Ordinance amendments to address concerns regarding Dollar Store-style establishments. To meet the requests of Council in understanding the proliferation of these small box discount stores and their implications within the city limits of Petersburg, the following report has been prepared by the Department of Economic Development in conjunction with the Department of Planning and Community Development. Alternative Financial Institutions, more commonly known as Payday and Title Loan companies will also be examined to understand the role these types of businesses play in perpetuating poverty and debt in low-income, minority neighborhoods. This report will attempt to address the following objectives:

- The definition and seriousness of food insecurity and information from the Robert Wood Johnson Foundation report regarding food insecurity in Petersburg
- The number and location of each of these types of businesses in Petersburg
- The general types of products and services provided by these types of businesses
- The number and location of businesses that sell fresh food
- The percentage of small box discount stores compared to big box retail stores, and big box discount stores
- The percentage of alternative financial institutions compared to banking institutions
- Poverty levels in the census tracts where small box discount stores and alternative financial institutions in Petersburg are located
- Other related issues that will help inform the Planning Commission and the City Council

Petersburg, Virginia Demographic Information

Petersburg, Virginia has a population of 31,362 as of 2019 across 22.7 square miles in 12,165 households. The median age of the City is 38.1, which is about the same as Virginia at 38.2 and the United States at 38.1, and a gender distribution of 54% female and 46% male; 51% female in Virginia and the U.S. and 49% male in Virginia and the U.S. Among residents over the age of 25, 36% have high school diplomas, 27% have some college, and 20% have bachelor degrees or more. The median household income is \$38,679 per year which is about half of the median household income of Virginia at \$74,222 and three-fifths of the U.S. at \$62,843. 24.1% of Petersburg residents live below the poverty line, which is more than double the rate in Virginia at 10.6% and 1.5 times more than the rate in the U.S. at 13.4%. 75% of workers commuted to work through an automobile and spent 22.7 minutes on average in-commute, which is less than the average of Virginia at 28.7 minutes and the U.S. at 26.9 minutes. (Census Reporter “Petersburg city, Virginia”)

Food Deserts

Food Deserts are defined by the United States Department of Agriculture as “areas where people have limited access to a variety of healthy and affordable food” and are tracked by the USDA at the Census Tract level. Income, vehicle availability, and access to public transportation are notable characteristics that inform where Food Deserts arise. Expanded criteria for Food Deserts are at least 500 people and/or 33% of the census tract population residing more than 1 mile from a supermarket or large grocery store in urban areas, and more than 10 miles in rural areas. Supermarket / large grocery store in this instance is defined as “food stores with at least \$2 million in sales that contain all the major food departments found in a traditional supermarket.” The USDA report found that Food Deserts are more likely to be found in areas with higher levels

of poverty, regardless of urban or rural status. Food Deserts are also more likely to be found in areas with a larger percentage of minority population. (Dutko et al. “Characteristics and Influential Factors of Food Deserts”)

Petersburg, Virginia is divided into eleven Census Tracts (8101, 8103, 8104, 8105, 8106, 8107, 8109, 8110, 8111, 8112, 8113). As of a 2015 USDA analysis, Tracts 8101, 8103, 8104, 8105, 8106, 8107, 8110, 8111 are full Food Deserts. Tracts 8113 and 8109 are partial Food Deserts. Partial Food Desert means a half-mile rather than a mile from the nearest Supermarket. Only Tract 8112 is not a Food Desert by any definition. (USDA “Food Access Research Atlas”)

According to the Robert Wood Johnson Foundation, the U.S.’s largest philanthropy dedicated to addressing America’s health issues, ranked Petersburg as last, 133 out of 133, in the Commonwealth of Virginia in terms of Health Outcomes. While indicators such as educational attainment, smoking, obesity, physical inactivity, and access to healthcare certainly contribute to the holistic health outcome picture, access to healthy foods and a healthy diet can help address this problem at the source. Petersburg has a ‘Food Environment Index’ of 4 compared to the national index of 8.6 and the Virginia index of 8.9 [NOTE: index rates closer to 0 are worse, and rates closer to 10 are better]. (Robert Wood Johnson Foundation “Petersburg City (PB)”)

Food Deserts can provide a variety of poor health outcomes. Lack of access to healthy foods, such as fresh/raw meats, fish, poultry, and dairy products can contribute to higher incidences of caloric intake, higher intake of saturated and trans fats, added sugars, and excess sodium. Increased consumption of these processed foods can lead to high incidences of obesity, and higher incidences of diabetes just to name a few. (Caporuscio “What are food deserts, and how do they impact health?”)

Small Box Discount Stores Definitions

To understand the role Small Box Discount Stores play in the context of Food Deserts, it is important to understand the nuanced differences between Small Box Discount Stores and other grocery stores; Small Retail Box Stores, Convenience Stores, Fresh Food Stores, Supermarkets, and Wholesale (Big Box) Stores.

Small Box Discount Stores shall be defined as retail space with floor area less than 10,000 square feet that offer for sale an assortment of goods, including food or beverages for off-premise consumption, household products, personal grooming and health products and other items with an emphasis on low, fixed sale price points. Small Box Discount Stores do not include retail spaces that contain a prescription pharmacy, sell gasoline or diesel fuel, primarily sell speciality, artisanal, and gourmet food items (e.g. meat, seafood, cheese or oils and vinegars) and dedicate less than 15% of the floor area or shelf space to fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables.

Small Box Retail Stores are retail space with floor area less than 10,000 square feet that offer for sale an assortment of goods, including food or beverages for off-premise consumption, household products, personal grooming and health products. Small Box Retail Stores dedicate less than 15% of the floor area or shelf space to fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables, and can include retail space for a prescription pharmacy, and may sell alcoholic beverage products and lottery tickets, and may sell specialty, artisanal, and gourmet food items (e.g. meat, seafood, cheese or oils and vinegars). Small Box Retail Stores do not sell gasoline and/or diesel fuel.

Convenience Stores shall be defined as retail space with floor area less than 10,000 square feet that primarily offer for sale an assortment of goods, including food or beverages for off-premise consumption, household products, personal grooming and health products. Convenience

Report on Small Box Discount Stores and Alternative Financial Institutions 7

Stores dedicate less than 15% of the floor area or shelf space to fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables. Convenience Stores may include retail space to sell alcoholic beverage products and lottery tickets. Convenience Stores may sell gasoline and/or diesel fuel and do not sell specialty, artisanal, and gourmet food items (e.g. meat, seafood, cheese or oils and vinegars) and may not provide space for a prescription pharmacy.

Fresh Food Stores shall be defined as retail space with floor area less than 10,000 square feet that primarily offer for sale fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables, and specialty, artisanal, and gourmet food items (e.g. meat, seafood, cheese or oils and vinegars). These items must take up at least 15% of the floor area. Fresh Food Stores may sell food or beverages for off-premise consumption, household products, personal grooming and health products, alcoholic beverages, lottery tickets, a prescription pharmacy, and gasoline and/or diesel fuel.

Supermarkets shall be defined as retail space with floor area greater than 10,000 square feet, that primarily offer for sale fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables, and specialty, artisanal, and gourmet food items (e.g. meat, seafood, cheese or oils and vinegars). Supermarkets may sell food or beverages for off-premise consumption, household products, personal grooming and health products, alcoholic beverages, lottery tickets, and have a prescription pharmacy, but these items shall not take up more than 50% of the designated sales floor area or shelf space. Supermarkets are permitted to have facilities to sell gasoline and/or diesel fuel that do not count towards the sales floor limit.

Wholesale (Big Box) Retail Stores shall be defined as retail space with floor area greater than 10,000 square feet that offer for sale an assortment of goods, including food or beverages for off-premise consumption, household products, personal grooming and health products and other items with an emphasis on bulk purchases. Wholesale Stores may include retail spaces that contain a prescription pharmacy, sell gasoline or diesel fuel, speciality food items (e.g. meat, seafood, cheese

or oils and vinegars) and should dedicate at least 15% of the designated sales floor area or shelf space to fresh (raw) meats, fish, poultry, dairy, fresh fruits and vegetables.

Alternative Financial Institutions Definitions

To understand the impact of Alternative Financial Institutions, it is important to understand how the services they provide differ from traditional Banking Institutions and Credit Unions.

Alternative Financial Institutions shall be defined as financial services provided with an emphasis on a small-dollar, short-term, high-interest basis. This shall include institutions with an emphasis on check cashing, cash advances, motor vehicle title lending, payday lending, and pawn lending. Alternative Financial Institutions do not receive deposits for long-term savings and investment, and these deposits are not insured by the Federal Deposit Insurance Corporation (FDIC).

Banking Institutions shall be defined as financial services provided with an emphasis on long-term, low-interest basis. This shall include services such as checking and savings accounts, loan and mortgage services, automobile financing, credit and debit card services, and certificates of deposit. Banking Institutions shall require Federal Deposit Insurance Corporation (FDIC) insurance of up to \$250,000 for individuals and \$500,000 for jointly held deposits.

Credit Unions shall be defined as financial services provided with an emphasis on a not-for-profit basis. Credit Unions shall be characterized as member-owned-and-operated institutions that provide traditional banking services such as checking and savings accounts, loan and mortgage services, automobile financing, credit and debit card services, and certificates of deposit.

Location of these Businesses

General Information

To understand where Dollar Stores and Alternative Financial Institutions arise, it is important to understand how Petersburg is divided. As described earlier, the USDA uses Census Tracts to track Food Deserts. Utilizing the Census Tract division of Petersburg enables this report to understand the population and poverty levels in the Census Tracts where these stores are located. In the following table are the Census Tracts in Petersburg with demographic information (Census Reporter “Petersburg city, Virginia”):

Census Tract Information - Petersburg, VA					
Census Tract	Population	Square Miles	Median Age	% in Poverty	Food Desert?
Petersburg	31,362	22.7	38.1	24.1%	
8101	2,716	2.4	32.3	33.8%	YES
8103	2,778	1.3	42.5	20.4%	YES
8104	1,367	0.4	29.1	31.5%	YES
8105	3,184	1.8	45.4	20.6%	YES
8106	1,650	0.5	40.3	37.9%	YES
8107	2,205	0.5	43.7	30.0%	YES
8109	3,433	1.1	42.4	18.2%	AT-RISK
8110	4,232	3.8	38.7	17.1%	YES
8111	2,842	4.0	41.0	11.7%	YES
8112	4,121	5.9	31.8	24.8%	NO
8113	2,834	1.1	32.8	34.2%	AT-RISK

Report on Small Box Discount Stores and Alternative Financial Institutions 10

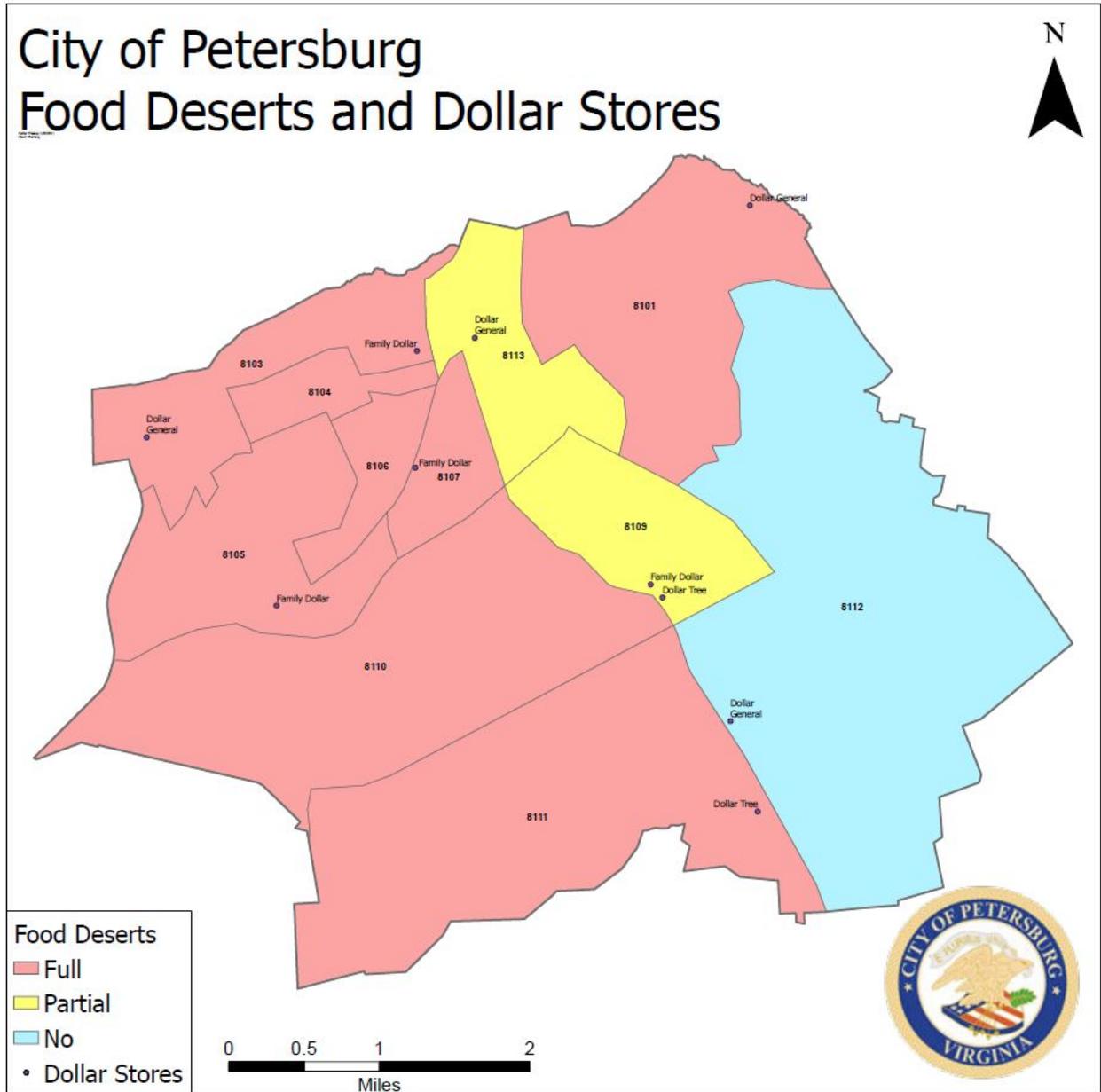
From this, we can see that Census Tract 8106 has the highest poverty rate in Petersburg at 37.9%. Other Census Tracts with poverty rates over the Petersburg average of 24.1% are Tracts 8101 at 33.8%, 8104 at 31.5%, 8107 at 30.0%, 8112 at 24.8%, 8113 at 34.2%. Tracts with Poverty Rates below the average are 8103 at 20.4%, 8105 at 20.6%, 8109 at 18.2%, 8110 at 17.1%, and 8111 at 11.7% - the smallest poverty rate in Petersburg.

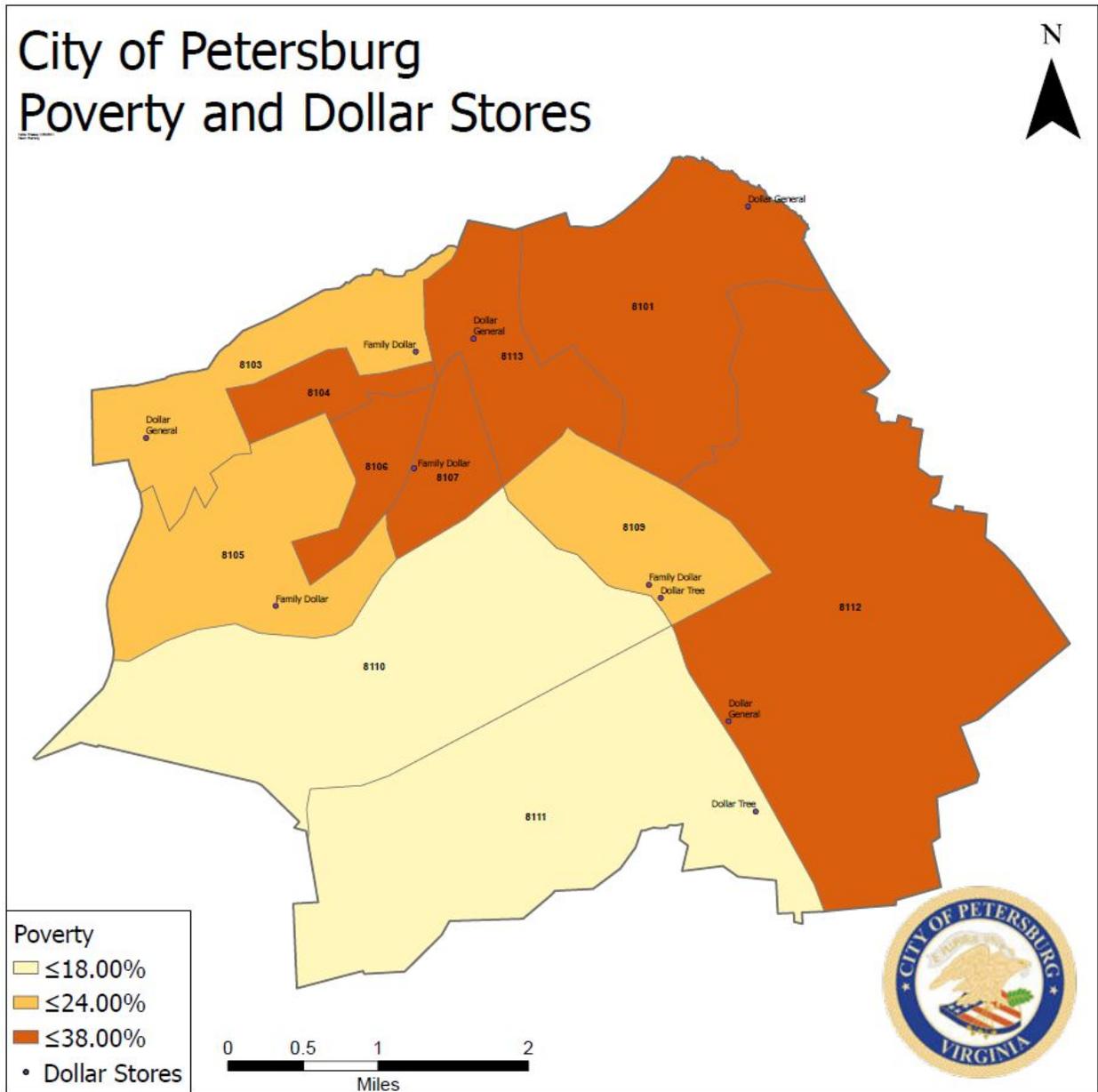
Small Box Discount Stores

In Petersburg, the following table outlines where the currently existing and in-development Small Box Discount Stores are located:

Small Box Discount Stores		
Name	Address	Census Tract (Population / Poverty %)
Dollar Tree	3330 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
Proposed Dollar Tree	2141 S Crater Rd, Petersburg, VA 23805	8109 (3,433 / 18.2%)
Dollar General	2201 W Washington St, Petersburg, VA 23803	8103 (2,778 / 20.4%)
Dollar General	3105 S Crater Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Dollar General	2131 E Washington St, Petersburg, VA 23803	8101 (2,716 / 33.8%)
Proposed Dollar General	15 S Adams St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Family Dollar	250 W Washington St, Petersburg, VA 23803	8103 (2,778 / 20.4%)
Family Dollar	798 Halifax St, Petersburg, VA 23803	8107 (2,205 / 30%)
Family Dollar	1847 Boydton Plank Rd, Petersburg, VA 23805	8105 (3,184 / 20.6%)

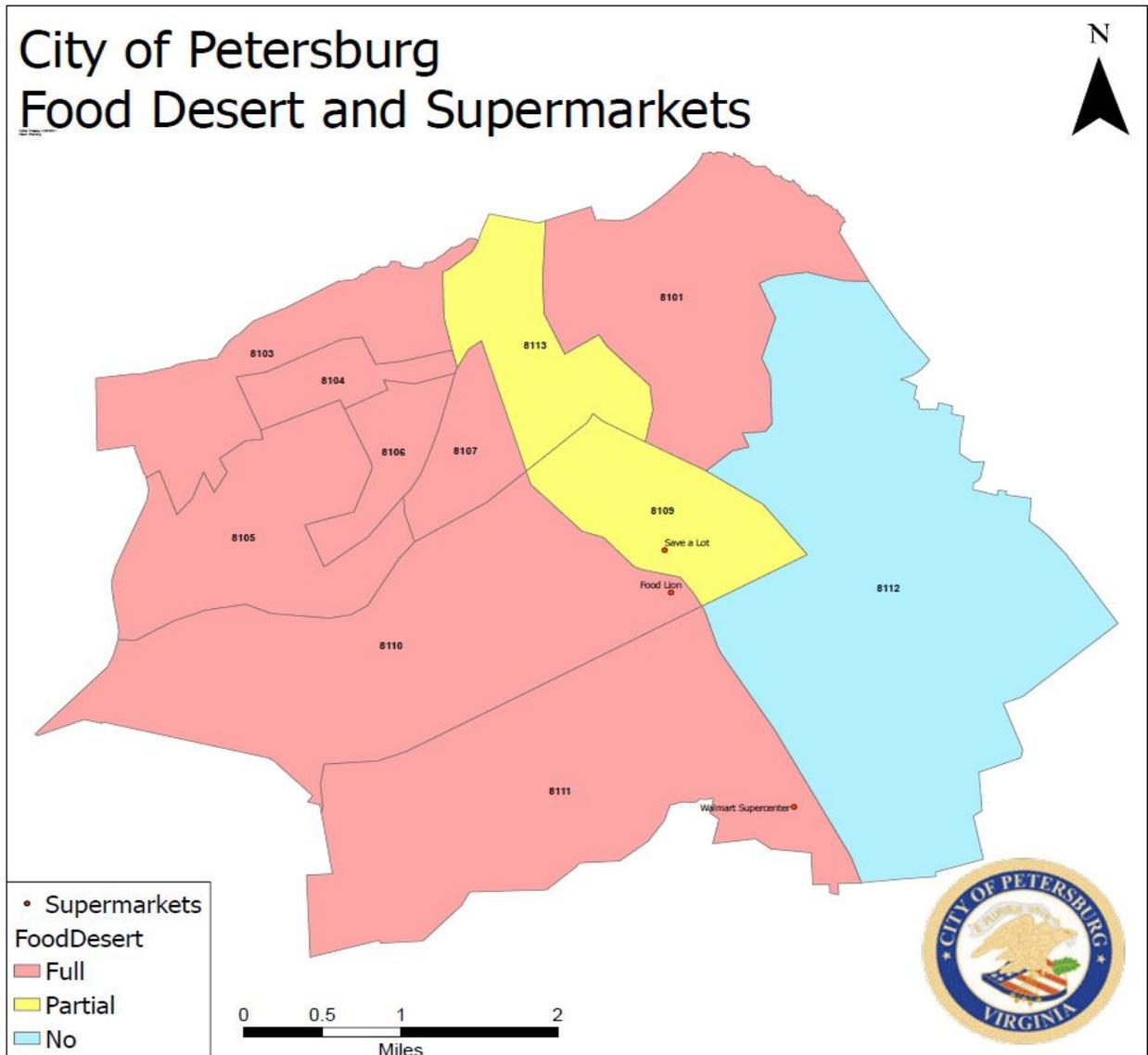
Family Dollar	2075 S Crater Rd, Petersburg, VA 23805	8109 (3,433 / 18.2%)
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From this, we can see that Tracts 8110, 8106, 8104 do not have any Small Box Discount Retail Stores. To be sure, 8106, the Census Tract with the highest poverty rate in Petersburg, is among these. 8104 also has a poverty rate above average at 31.5%. Tract 8110 has the second lowest poverty rate at 17.1%. Most notably, four of ten Small Box Discount Retail Stores are located on South Crater Road.

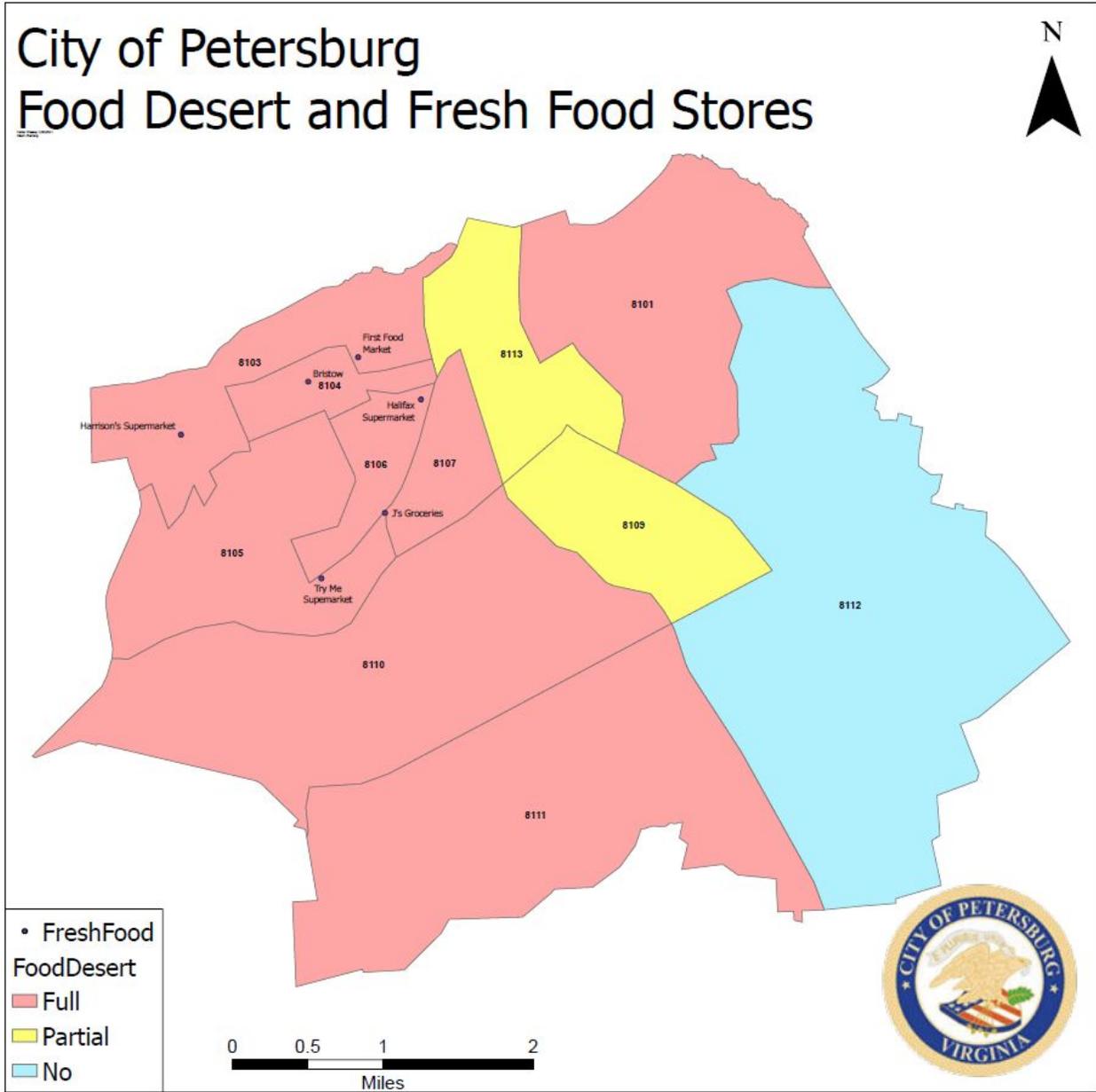
Supermarkets		
Name	Address	Census Tract (Population / Poverty %)
Walmart Supercenter	3500 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
Food Lion	2120 S Crater Rd, Petersburg, VA 23805	8110 (4,232 / 17.1%)
Save A Lot	2001-2003 S Crater Rd, Petersburg, VA 23805	8109 (3,433 / 18.2%)



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The three supermarkets in town are located all on South Crater Road in Tracts 8111, 8110, and 8109. Tract 8111, home of the Wal-Mart, is the least impoverished Tract in Petersburg at only 11.7% in poverty. Tract 8110, home of the Food Lion, is the second least impoverished at 17.1% in poverty. Tract 8109, home of the Save-A-Lot, is the third least impoverished at 18.2% impoverished. Despite this, according to the USDA definition of Food Deserts as at least 500 people and/or 33% of the Census Tract population residing more than 1 mile from a supermarket or large grocery store in urban areas, and more than 10 in rural areas, Tracts 8111 and 8110 are Food Deserts.

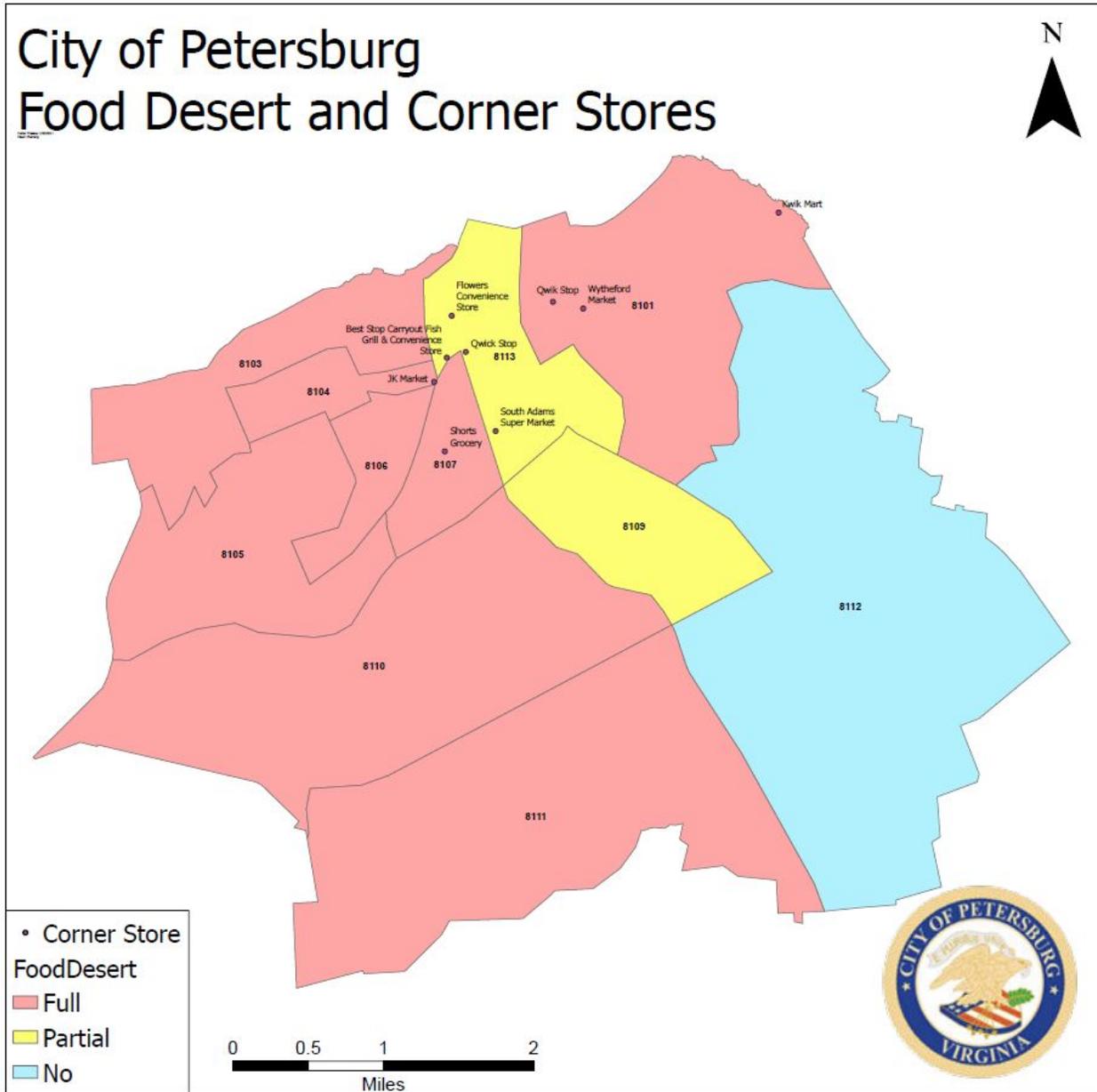
Fresh Food Stores		
Name	Address	Census Tract (Population / Poverty %)
Harrison's Supermarket	1900 W Washington St, Petersburg, VA 23803	8103 (2,778 / 20.4%)
Bristow Market	1105 W Washington St, Petersburg, VA 23803	8104 (1,367 / 31.5%)
J's Groceries	1136 Halifax St, Petersburg, VA 23803	8107 (2,205 / 30.0%)
Try Me Supermarket	1614 Halifax St, Petersburg, VA 23803	8105 (3,184 / 20.6%)
Halifax Supermarket	303 Halifax St, Petersburg, VA 23803	8106 (1,650 / 37.9%)
First Food Market	705 W Washington St, Petersburg, VA 23803	8103 (2,778 / 20.4%)



The Fresh Food Store, which are stores that provide a selection of raw meats and fresh fruits and vegetables, but do not meet the qualification of a Supermarket, are located all in the northwestern portion of the City. Because of how the USDA defines Food Deserts, it is difficult to indicate if these Tracts are truly food insecure or not. Five of the six non-South Crater Road Discount Retail Stores are located nearby these Fresh Food locations.

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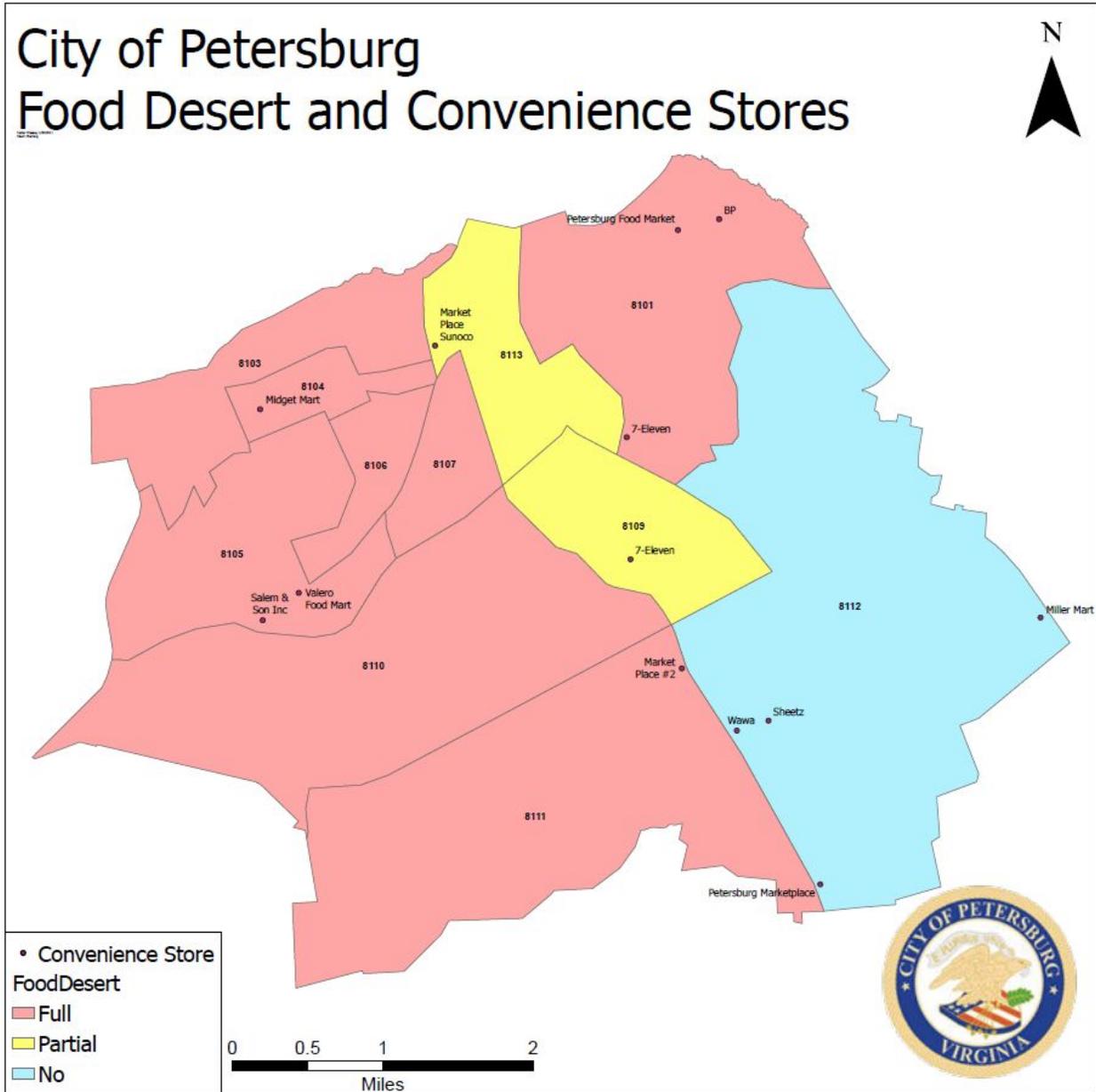
Small Box Retail Stores (Corner Stores)		
Name	Address	Census Tract (Population / Poverty %)
Qwick Stop	8 E Wythe St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Best Stop Carryout Fish Grill & Convenience Store	54 South Union Street, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Kwik Mart	2328 E Washington St, Petersburg, VA 23803	8101 (2,716 / 33.8%)
Shorts Grocery	300 Mistletoe St, Petersburg, VA 23803	8107 (2,205 / 30.0%)
Wytheford Market	840 E Wythe St, Petersburg, VA 23803	8101 (2,716 / 33.8%)
South Adams Super Market	620 S Adams St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Flowers Convenience Store	133 N Sycamore St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
JK Market	211 Halifax St, Petersburg, VA 23803	8104 (1,367 / 31.5%)
Qwik Stop	15 E Washington St, Petersburg, VA 23803	8101 (2,716 / 33.8%)



Small Box Retail Stores, commonly referred to as “Corner Stores”, are found largely in the middle of the northern portion of the City. Each of these stores are located in a Census Tract with an above average percentage of people living in poverty.

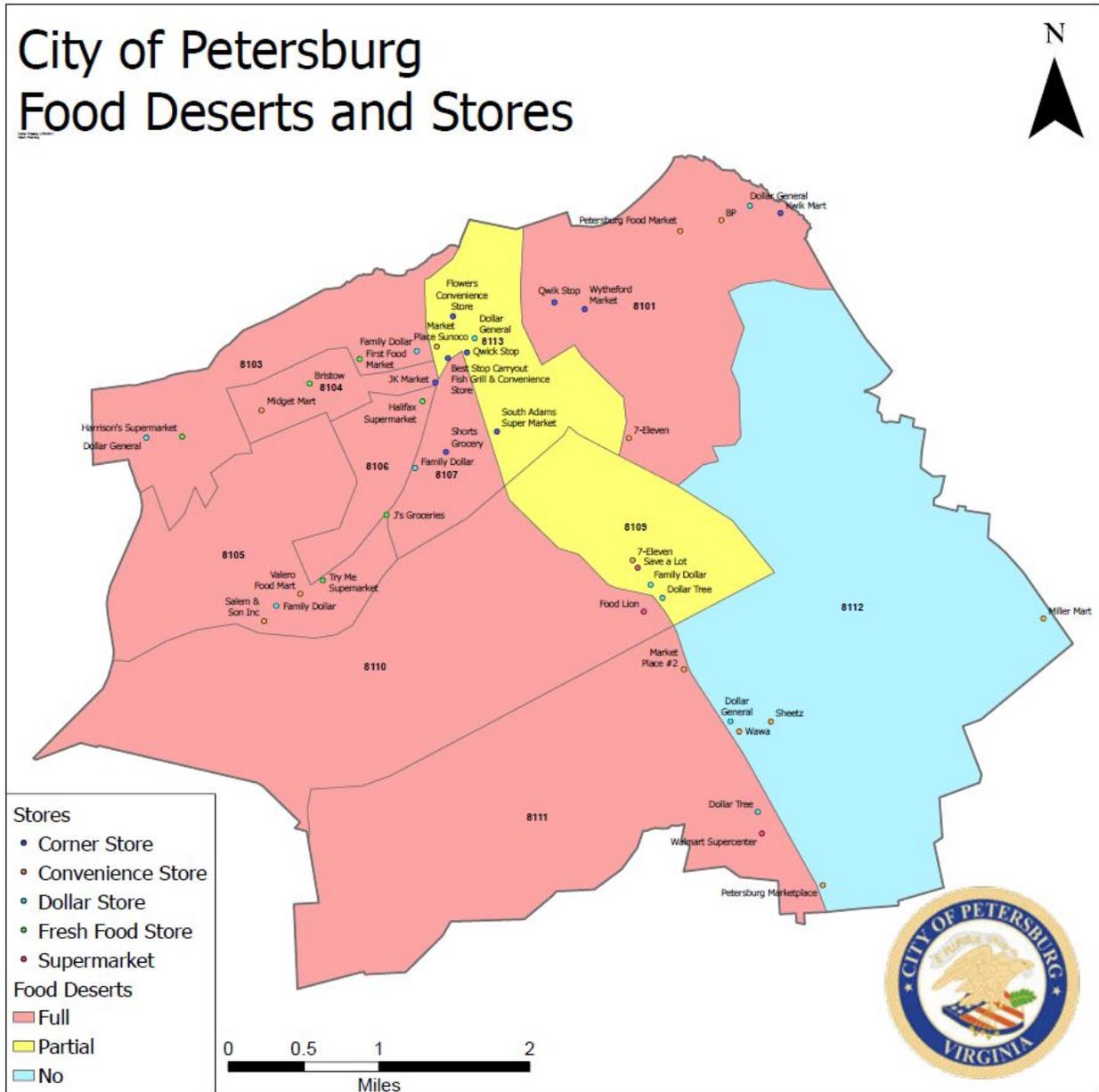
Report on Small Box Discount Stores and Alternative Financial Institutions 18

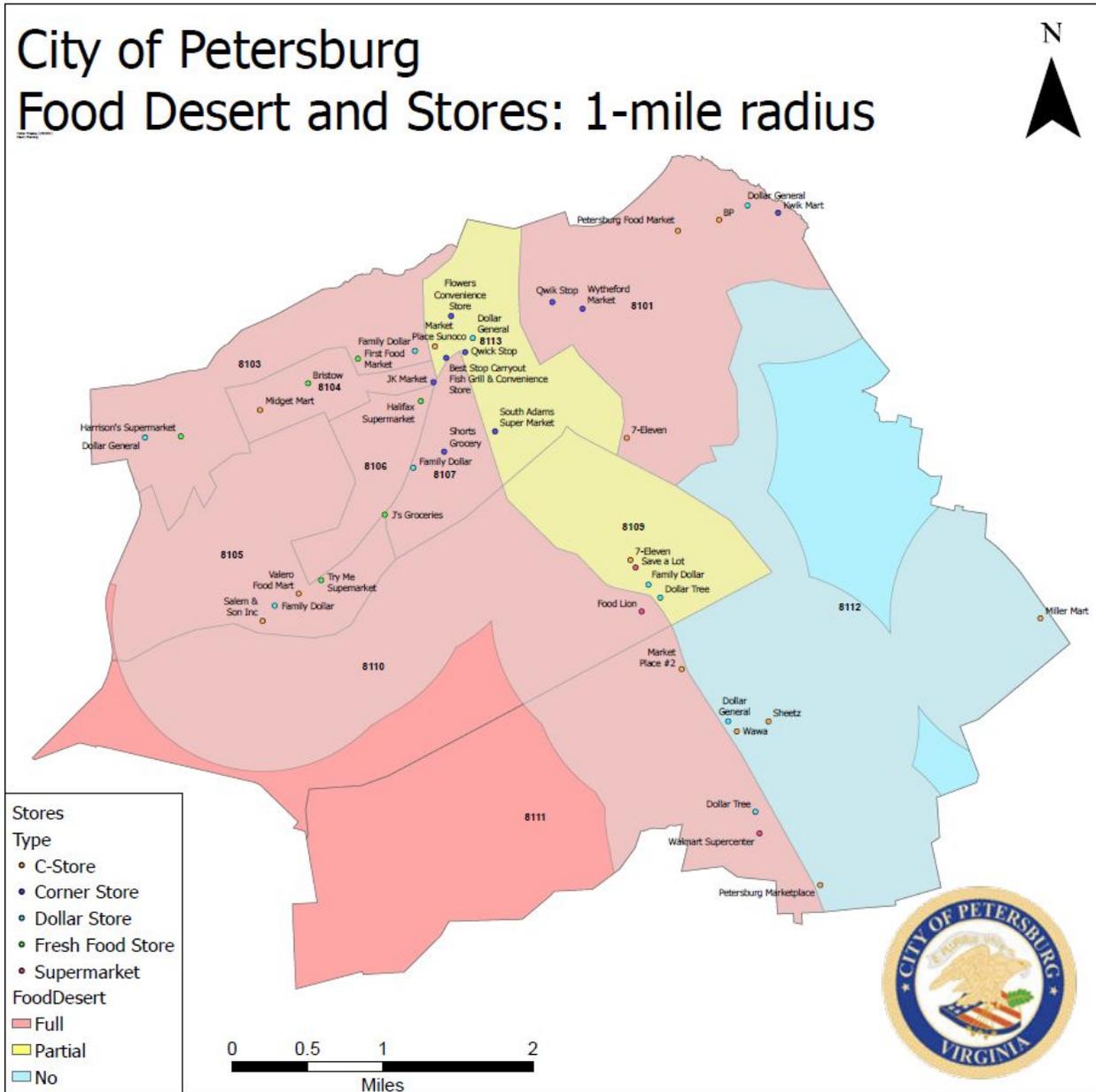
Convenience Stores		
Name	Address	Census Tract (Population / Poverty %)
Market Place Sunoco	110 W Washington St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Midget Mart	1420 W Washington St, Petersburg, VA 23803	8104 (1,357 / 31.5%)
Petersburg Food Mart	1500 E Washington St, Petersburg, VA 23803	8101 (2,716 / 33.8%)
bp	1932 E Washington St, Petersburg, VA 23803	8101 (2,716 / 33.8%)
Valero Food Mart	1740 Boydton Plank Rd, Petersburg, VA 23805	8105 (3,184 / 20.6%)
Salem & Son Inc	1908 Boydton Plank Rd, Petersburg, VA 23805	8105 (3,184 / 20.6%)
7-Eleven	701 S Crater Rd, Petersburg, VA 23803	8101 (2,716 / 33.8%)
7-Eleven	225 South Boulevard, Petersburg, VA 23805	8109 (3,433 / 18.2%)
MARKET PLACE #2	2706 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
Wawa	3199 S Crater Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Petersburg Marketplace	3825 S Crater Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Miller Mart	1200 Courthouse Rd, Petersburg, VA 23803	8112 (4,121 / 24.8%)
Sheetz	151 Wagner Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)



Convenience Stores (C-Stores) are scattered throughout the City. Four of the 13 C-Stores are found in Tract 8112, which is notably the only truly non-Food Desert Tract, and the largest geographic Tract at 5.9 square miles. C-Stores are found in the most- and least impoverished Tracts in the City, and ten of the thirteen C-Stores are found along West and East Washington Streets, Boydton Road, and South Crater Road.

Provided below is a map with all of these locations together, with the appropriate Tracts indicating Food Deserts. Also provided is a map with these locations with a one-mile radius.





To summarize, there are ten Small Box Discount Stores in Petersburg. Four of them are located on South Crater Road, five are located in the north / northwestern portion of the City, with a single store in the far northeast portion of the City. These ten Discount Stores make up 24.39% of all of the previously discussed categories combined; C-Stores 31.7%, Small Box Retail 21.95%, Fresh Food Stores 41.63%, Supermarkets 07.32%. There are three times as many Discount Stores than there are Supermarkets. Slightly less than twice as much as many as Fresh

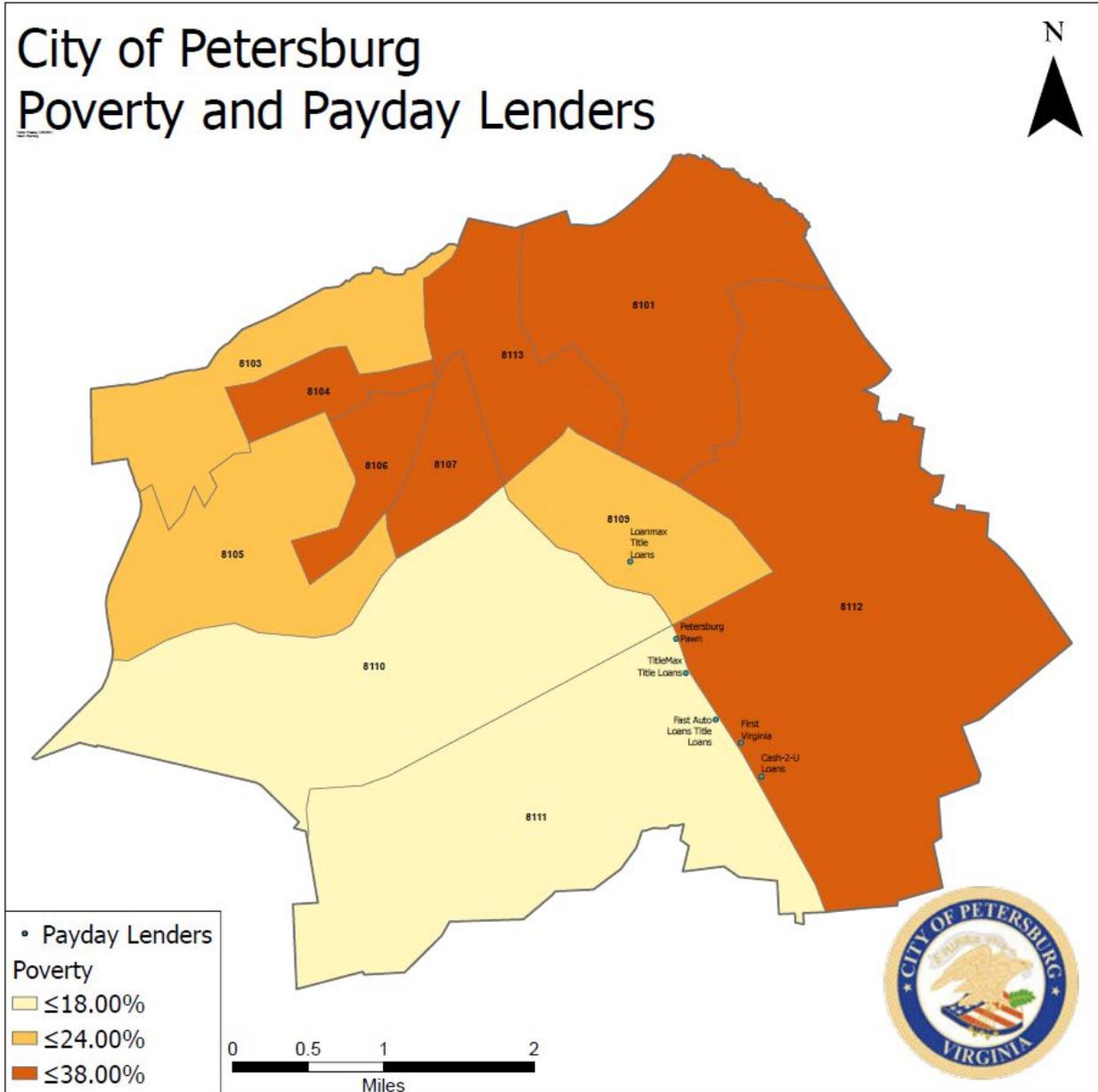
Report on Small Box Discount Stores and Alternative Financial Institutions 22

Food Stores. One more Discount Store than Small Box Retail Stores. Three more Convenience Stores than Discount Stores.

Alternative Financial Institutions

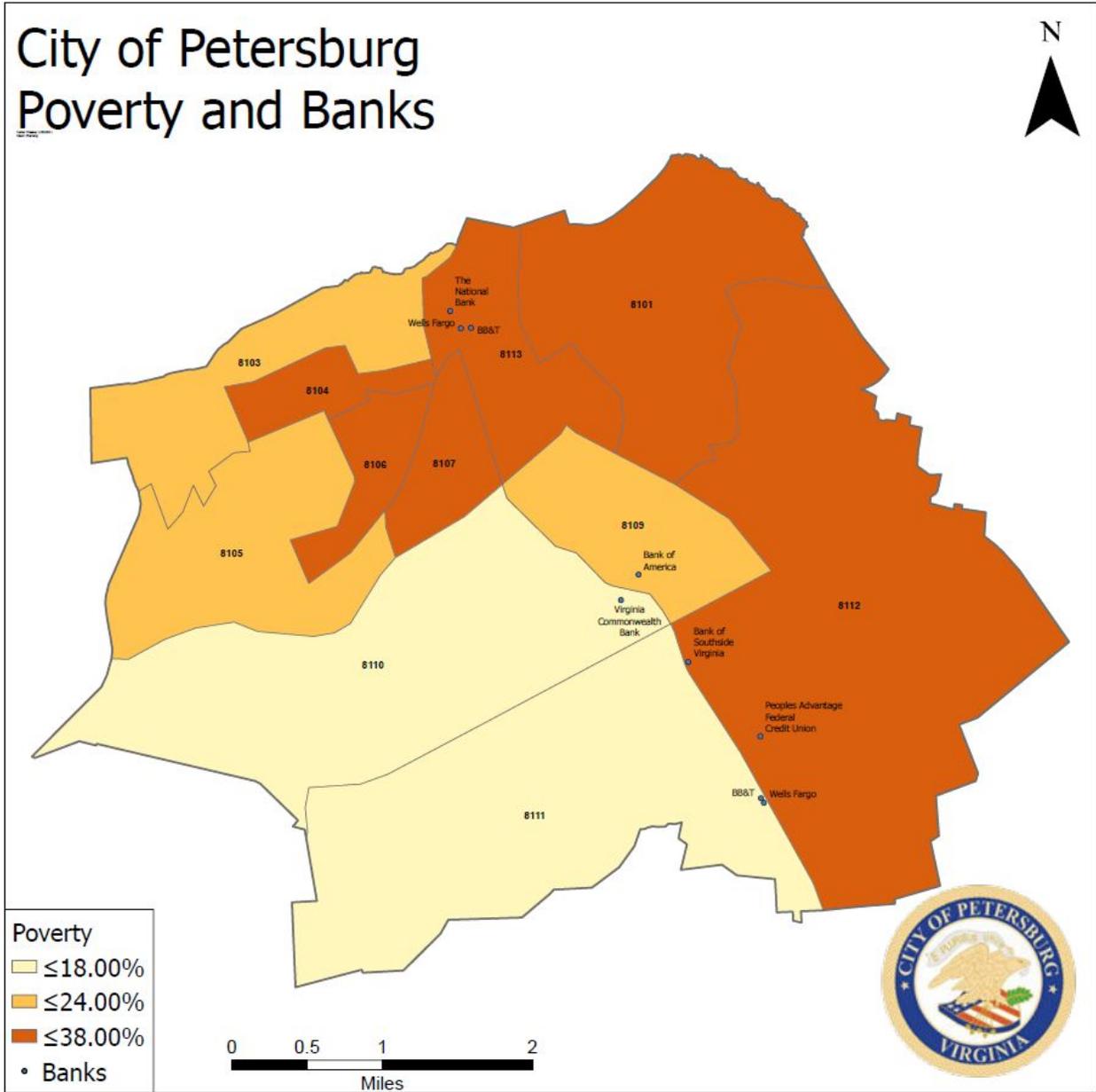
In Petersburg, the following table outlines where the currently existing Alternative Financial Institutions are located:

Alternative Financial Institutions		
Name	Address	Census Tract (Population / Poverty %)
Loanmax Title Loans	1883 S Crater Rd, Petersburg, VA 23805	8109 (3,433 / 18.2%)
TitleMax Title Loans	2716 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
Fast Auto Loans Title Loans	3030 S Crater Rd, Petersburg, VA 23803	8111 (2,842 / 11.7%)
First Virginia	3219 S Crater Rd Ste C, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Cash-2-U Loans	3323 S Crater Rd unit c, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Petersburg pawn	2536 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)



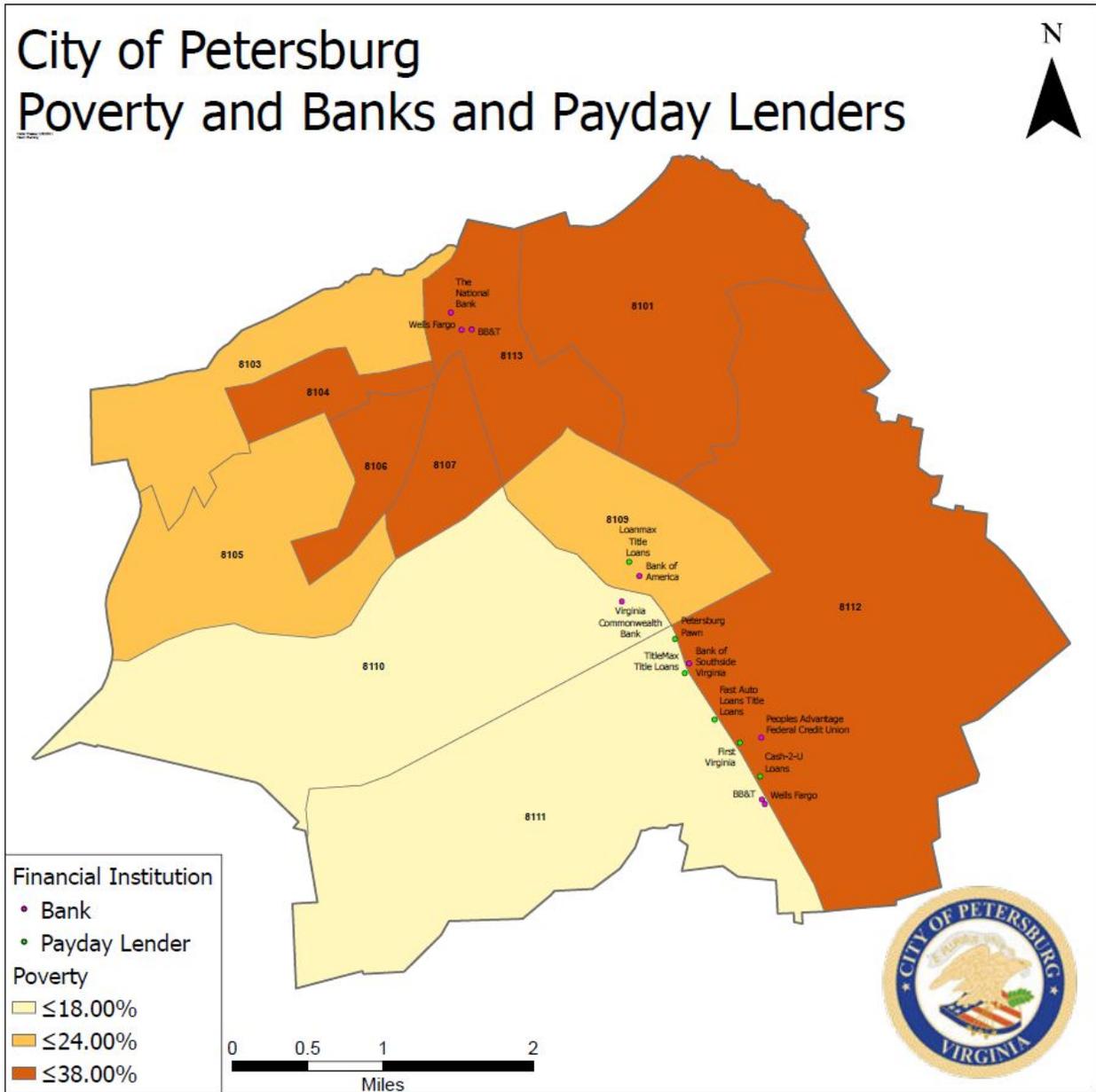
Of the Alternative Financial Institutions, two are found in a Tract that has an above average poverty rate, 8112 (24.8%). The rest are in Tracts 8109 (18.2%) and 8111 (11.7%), which are below the average poverty rate in Petersburg of 24.1%. Most notably, every single one of these businesses are located on South Crater Road.

Banking Institutions + Credit Unions		
Name	Address	Census Tract (Population / Poverty %)
Wells Fargo Bank	20 Franklin St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Wells Fargo Bank	3360 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
BB&T	117 E Washington St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
BB&T	3340 S Crater Rd, Petersburg, VA 23805	8111 (2,842 / 11.7%)
The National Bank	147 N Sycamore St, Petersburg, VA 23803	8113 (2,834 / 34.2%)
Virginia Commonwealth Bank	1965 Wakefield St, Petersburg, VA 23805	8110 (4,232 / 17.1%)
Bank of America	1963 S Crater Rd, Petersburg, VA 23805	8109 (3,433 / 18.2%)
The Bank of Southside Virginia	2703 S Crater Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)
Peoples Advantage Federal Credit Union	110 Wagner Rd, Petersburg, VA 23805	8112 (4,121 / 24.8%)



The Banking Institutions in the City are found largely around the South Crater Road area, with the one Credit Union found on Wagner Road. Three banks are located in the northern portion of the City. Four of the nine businesses are in Tracts, 8109 (18.2%), 8110 (17.1%), 8111 (11.7%), below the average poverty rate of 24.1%. The other five are located in Tracts, 8112 (24.8%), 8113 (34.2%), which are above the average poverty rate in Petersburg.

Provided below is a map with all of these locations together:



To summarize, there are six Alternative Financial Institutions (AFI's) in Petersburg. Every single one is located on South Crater Road. Two-thirds of these stores, four, are in Tracts 8109 and 8111 below the average poverty rate in Petersburg. One-third, two, are in Tract 8112 which is above the average poverty rate. All of the AFI's are located on South Crater Road.

AFI's make up 40% of the previously discussed categories combined; Banks and Credit Unions make up 60%.

Summary and Implications

From the analysis of the location of Small Box Discount Stores and Alternative Financial Institutions in Petersburg, we find that all of the Alternative Financial Institutions, and nearly half of the Small Box Discount Stores are located on South Crater Road. In their respective sections, the Tracts these stores are found in are not necessarily the poorest or most food insecure Tracts in the City. South Crater Road is a heavily trafficked road, with an Average Annual Daily Traffic rate of 12,000 vehicles. (Virginia Department of Transportation) South Crater Road is also the location of a Petersburg Area Transit bus route. Further analysis is recommended to understand why South Crater Road in particular is the location of many of these establishments, such as population density and available transit options.

One consideration regarding the Food Desert situation, is that the USDA definition defines Supermarket or large grocery store as a "food store with at least \$2 million in sales that contain all the major food departments of a traditional supermarket". As some, if not all of, the non-supermarket food stores in town may not meet this definition, they would not count towards Food Deserts in town. Further analysis is recommended of the revenue generated by the non-Supermarket Food Stores in town to understand if they meet the USDA definition, and what role these non-Supermarket Food Stores may play in combating Food Deserts and poor health outcomes. Please note that this revenue data from the Commissioner of the Revenue may not be available for public use, so an arrangement may need to be made between Council, Planning Commission, and the Economic Development Authority for usage of this data.

Another consideration is the two partial Food Desert Tracts, 8113 and 8109 in the City. While not full Food Deserts, this may be partially due to the IGA Supermarket located at 15 S Adams Street. However, the IGA Supermarket is now closed with a Dollar General taking its place. While a report survey conducted by a VCU Master of Urban & Planning Program in 2019 found that the IGA was “not frequented by many residents” (Ashby et al. page 15), its status as a Supermarket undoubtedly is a contribution to Tract 8113 not being a Food Desert as of the 2015 USDA Food Desert analysis. The proposed Dollar General is purported to have space for refrigeration units for fresh foods, monitoring of this will need to be conducted to verify this.

Regarding the proliferation of Small Box Discount Stores, also known as, Dollar Stores. Discount Stores such as Dollar General and Dollar Tree are rapidly expanding. From 2011 to 2018, these two companies had a total of nearly 30,000 locations; more than the total of Wal-Mart and McDonald’s combined. Dollar-type Stores accounted for nearly half of all U.S. retail store openings in a six-month period in 2019. In Petersburg, there are ten dollar-type stores by Dollar Tree (which owns Family Dollar as well) and Family Dollar.

A common criticism of dollar-type stores is their perceived predatory nature. Dollar-type stores are accused of contributing to poor economic and health outcomes that “displace full-service grocery stores, eliminate jobs, and undercut competition from other retailers and small businesses.” While dollar-type stores sell food, it is often highly processed foods, and do not sell healthy, fresh foods such as raw meats, fruit, and vegetables. For example, a community grocery store in Cleveland, Ohio claimed to struggle to be profitable, despite financial subsidies, due to the competition from dollar-type stores. One report indicates a “30% decline in sales for local grocery supermarkets after the introduction of a dollar store to an area.” Dollar-type stores specifically look to operate in local income neighborhoods with the CEO of Dollar General,

Todd Vasos, quoted in a 2017 Wall Street Journal article that “The economy is continuing to create more of our core customers.” (Sainato) Dollar-type stores are also not necessarily cheaper, selling staples in smaller portions for a dollar that when extrapolated to larger portions is more expensive, such as a dollar milk carton that equals to \$8 dollars a gallon. (Kelloway) Other articles describe the racial and income disparities that come with the expansion of dollar-type stores across both urban and rural America. (Siegel)

Across the U.S., cities have been pushing back against dollar-type stores. Cleveland, Ohio, previously mentioned, passed a temporary moratorium on new dollar-type stores in June 2020. (Castele) Tulsa (Siegel) and Oklahoma City, Oklahoma authorized six-month moratoriums on new dollar-type stores. Kansas City, Missouri and Mesquite, Texas also passed legislation regulating dollar-type stores. (Moon)

An alternative viewpoint is that prohibiting or overregulating dollar-type stores hurts more than it helps. Supermarket chains may not enter food deserts due to the lack of a profit incentive, which dollar-type stores with their smaller floor spaces and minimizing labor costs can afford to turn a profit. Prohibiting dollar-type stores without providing the infrastructure or incentives to ensure a grocery store takes its place leaves the consumer with no choice at all when it comes to grocery needs. (Blaine) For example, in 2011, major food retailers promised to open or expand 1,500 grocery and convenience stores in neighborhoods with no supermarkets by 2016. However, new “supermarkets” had built in only a “fraction of the neighborhoods where they’re needed most.” Excluding dollar-type stores and convenience stores from this total, this only amounted to roughly 250 new supermarkets in Food Deserts. For supermarkets to be successful in low-income neighborhoods, caution needs to be taken to ensure they meet the needs of the community and not adhere to a “rigid” corporate formula. (Associated Press)

Additional research should be conducted that examines Small Box Retail Stores (essentially convenience stores that do not provide for sale gasoline) and the role they play in contributing to poor health and wealth outcomes similarly to Small Box Discount Stores, aka dollar-type stores.

Regarding the presence of Alternative Financial Institutions, also known as, Payday and Title Lenders and Pawn Shops. Payday and Title Lenders business model is built around the quick cash with little prerequisites for approval. This business model lends itself well to the financial insecurity of many Americans. For example, according to a report by the Federal Reserve, 40 percent of households “would have some difficulty coming up with \$400 immediately.” and “60 percent of households would cover the \$400 expense by running a balance on their credit card, or borrowing from a friend or a family member, while the remaining 40 percent would have to see an asset, use a payday loan, or simply not pay the unexpected expense.” (Covas) Research on Payday and Title Lenders find that users of these services are disproportionately low income and African American or Hispanic, are located in low-income minority communities, with minorities paying a higher price on average for these services. Users are also likely not to understand the risks associated with these services, and the lenders often do not comply with laws and regulations. (Guedj)

An alternative perspective is that, similarly to the dollar-type stores, these Payday and Title Lenders provide financial lending services in a void that traditional banking institutions do not wish to fill due to the lack of a profit margin. Traditional banks may also require cash deposits to open and maintain an account that low-income families cannot meet. There are also racial factors, such as referenced in Dr. Guedj’s report, that minorities face price discrimination in traditional banking and mortgage lending. (Guedj page 1) While interest rates or payback

amounts may seem excessive, it is argued that this is to cover the short-term, high-risk nature of providing cash loans to low-income individuals who do not possess the same assets as higher income individuals to underwrite loans. Over-regulation of this industry may make the Payday and Title Lender business model unprofitable, driving out an option for low-income individuals and households that is not necessarily to be replaced by traditional banking services. Dr. Robert DeYoung of the University of Kansas likens payday loans to car rentals:

“Borrowing money is like renting money. You get to use it two weeks and then you pay it back. You could rent a car for two weeks, right? You get to use that car. Well, if you calculate the annual percentage rate on that car rental — meaning that if you divide the amount you pay on that car by the value of that automobile — you get similarly high rates. So this isn’t about interest. This is about short-term use of a product that’s been lent to you. This is just arithmetic.”

Dr. Thomas Sowell, formerly a Senior Fellow on Public Policy at the Hoover Institution at Stanford University, takes a similar viewpoint in his article “Payday Loans”.

Currently in the Petersburg Zoning Ordinances, there are no definitions or classifications of any kind regarding any of the establishments in the previous sections that defined Small Box Discount Stores, Small Box Retail Stores, Fresh Food Stores, Supermarkets, Alternative Financial Institutions, Banking Institutions, or Credit Unions. There is a tentative definition for Convenience Stores currently as “Automobile service station”. (“Zoning Ordinance”) The lack of definitions of these stores makes it difficult to regulate and take action on these types of stores.

Proposed Action

The following action items are proposed:

Update the Zoning Ordinance to define the types of stores defined in this report.

Regarding Small Box Discount Stores, authorize a special use permit that regulates the creation of new stores. This special use permit should include elements that prevent the creation of new stores in a certain mile radius of pre-existing stores, require the dedication of floor space to the sale of fresh foods consistent with USDA recommendations, and require approval of the City Council. For example, Fort Worth, Texas passed an amendment to their zoning regulations that require Small Box Discount Stores to be separated by two miles from a pre-existing store, and offer fresh produce, meat, and dairy products amount to at least 10 percent of the floor area. (Gubbins) Small Box Discount Stores should also be prohibited from the sale of alcohol beverages and lottery items. The creation of an incentive package for attracting Fresh Food Stores and Supermarkets should also be considered. This can include financial tax incentives; for example, New York City has an initiative called ‘Food Retail Expansion to Support Health’ (FRESH) aimed at bringing qualified fresh food stores to NYC. Among some of the tax incentives they provide include stabilizing pre-improvement real estate taxes for up to 25 years, land tax abatements for up to 25 years, and sales tax exemption on materials used to construct or renovate the facility. (“Food Retail Expansion to Support Health (FRESH)”) Additional non-financial incentive ideas include minimal parking requirements or exemptions for Fresh Food Stores and Supermarkets, rezoning, and the disposition of City-owned commercial real estate to stores that meet the required criteria.

A special use permit should be created regulating Alternative Financial Institutions as well. This special use permit should include a distance prohibition requirement, approval by

Council, and compliance with the Virginia Fairness in Lending Act of 2020. A moratorium on the creation of new Alternative Financial Institutions should be considered as well.

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City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor, Cynthia Boone

RE: **A public hearing and consideration of an Ordinance authorizing the City Manager to execute a Purchase Agreement toward the Sale Thirty-Six (36) parcels of City-owned property to JC Bynum Construction.**

PURPOSE:

To hold a public hearing regarding a Proposal submitted by JC Bynum Construction to Purchase and Develop Thirty-Six (36) parcels of City-owned property and, consideration of an Ordinance authorizing the City Manager to execute a Purchase Agreement toward the Sale of the City-owned property.

REASON: To hold a public hearing and consider an Ordinance authorizing the City Manager to execute a Purchase Agreement and proceed with the sale of City-owned property in accordance with applicable legal requirements.

RECOMMENDATION: The Department of Economic Development does not recommend approval of the proposal to purchase and develop City-owned property submitted by JC Bynum Construction. The recommendation is based on noncompliance with the Guidelines for the Disposition of City Real Estate Property that were adopted by the City Council, 20-R-68 on December 8, 2020, especially that the offer price is not at or near the assessed value of the properties. The offer price of \$36,000 is 11% of the combined assessed property value of \$341,100.

BACKGROUND: The Department of Economic Development received a Letter of Intent (LOI) to purchase City owned property from Ms. Sheila Coleman on behalf of JC Bynum Construction on November 16, 2020. The request was for thirty (30) parcels with a total offer price of \$500 (See attached LOI). The total assessed value for the properties is \$261,000.

On November 17, 2020, Staff responded to Ms. Coleman with a counteroffer of \$1,000 per parcel which totals \$30,000. This offer was based on ensuring the associated attorney fees and closing costs to the City would be covered. On November 17, 2020, Ms. Coleman did not accept the counteroffer stating that she would only

offer \$1,000 total for all thirty properties with a total assessed value of \$261,000. Staff advised Ms. Coleman that we were in the process of updating the City of Petersburg Property Disposition Guidelines and that Staff would follow up after the December 8, 2020 City Council Meeting.

On December 8, 2020, the City Council adopted resolution 20-R-68, a resolution for the adoption of new and updated guidelines for the disposition of City-owned real estate property by the City of Petersburg.

On December 21, 2020, Ms. Coleman sent a follow up email requesting her proposal go before City Council.

On December 29, 2021 and on January 4, 2021, Ms. Coleman asked to add six (6) additional residential properties to the list without an increased proposed purchase price. This would increase the final total assessed value to \$341,100 and a total proposed purchase price of \$36,000 for the 36 properties.

Ms. Coleman as JC Bynum recently closed on the purchase of twelve (12) formerly City-owned properties in October 2020. As of March 1, 2021, building permit applications for these properties have not been received according to the Code and Compliance Division of Neighborhood Services and construction has not started. The property claw-back date in the Purchase Agreement is November 30, 2022.

List of properties closed on October 2020:

1. 804-806 Bolling St
2. 411 Shore St
3. 520 Shore St
4. 524 Shore St
5. 525 Shore St
6. 530 Shore St
7. 516-18 Shore St
8. 725 Wilson St
9. 729 Wilson St
10. 735 Wilson St
11. 745 Wilson St
12. 747 Wilson St

List of additional properties proposed for purchased on November 2020

1. 105 Burch St N
2. 1111 Halifax St
3. 1115 Halifax St
4. 1230 High St W
5. 201 Virginia Ave
6. 806 Washington St E
7. 1157 Washington St W
8. 716 Wythe St E
9. 715 Wythe St E
10. 851 Bank St E
11. 741 Blick St
12. 109 Burch St N
13. 113 Burch St N
14. 115 Burch St N

15. 751 Jones St S
16. 215 Jones St S
17. 206 Jones St S
18. 505 High St
19. 650 Lawrence St
20. 9 Ross Ct
21. 12 Ross Ct
22. 4 Ross Ct
23. 6 Ross Ct
24. 734 Washington St E
25. 1119 High St W
26. 505 High St
27. 723-25 Harding St
28. 615 Harding St
29. 742 Blick St
30. 857 E Bank St

List of additional residential properties proposed for purchase on December 29, 2020 and January 4, 2020

1. 2761 Boydton Plank Rd
2. 735 Wilson St
3. 1114 Wythe St W
4. 323 West St S
5. 1805 Walton St
6. 1600 Shirley Ave

COST TO CITY: Conveyance of Real Property

BUDGETED ITEM: NA

REVENUE TO CITY: Revenue from the sale of property and associated fees and taxes.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES:

AFFECTED AGENCIES: City Manager
Economic Development
City Assessor

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: NA

REQUIRED CHANGES TO WORK PROGRAMS: NA

ATTACHMENTS:

1. Assessment Forms, Tax Maps, Ariel Maps
2. JC Bynum Ordinance (36 parcels)

LETTER OF INTENT

November 16, 2020

J.C. Bynum Construction LLC
MLW Housing
Bacot Holdings

7639 Hull Street Road, Suite 105
N. Chesterfield, VA 23235

RE: Bulk Purchase of City owned property;

By this letter, City of Petersburg presents the manner in which it and J.C. Bynum Construction in partnership with MLW Housing and Bacot Holdings, may acquire certain real property from the City of Petersburg as described herein. The parties recognize that the transaction will require further documentation and approvals, including the preparation and approval of a formal agreement setting forth the terms and conditions of the proposed purchase of vacant lots and real estate, nevertheless, we execute this letter to evidence our intention to proceed in mutual good faith to complete work required, to purchase the lots and real estate listed below in the amount of five hundred dollars.

I plan to construct single family homes on the property. I plan to sell the homes at the current market rate as owner occupancy. My intended use conforms with the current zoning. According to the City Planning Department (804) 733-2308, the intended use conforms with the City's Comprehensive Development Plan. Plans and designs are not yet available and will be submitted with permit applications.

My purchase price offer is \$500 (five hundred dollars) The total amount I plan to invest in the total housing project prior to receiving a Certificate of Occupancy is \$1 million . This project benefits the City of Petersburg by adding a city-owned property back on the tax roll, and by adding a new residence to the community on a formerly vacant lot. I am requesting a due diligence period of 190 days for inspection and to identify any issues that will impact the construction of a residence on this property.

I have extensive experience constructing homes throughout Virginia, with over twenty years in the Real Estate and construction industry. I will use equity and bank loans to construct the homes.

I agree to pay a non-refundable deposit totaling 1% of my offer price when my offer is accepted.

The proposed property locations, terms and conditions include, but are not limited to, the following:

Tax ID Number **Address**

012-070015	857	Bank St E
012-070018	851	Bank St E
012-080016	115	Burch St N
012-080012	105	Burch St N
012-080014	109	Burch St N
012-080015	113	Burch St N
012-070015	857	East Bank St
012-250002	806	Washington St E
012-260004	734	Washington St E
024-220018	1157	Washington St W
012-330006	716	Wythe St E
012-260019	715	Wythe St E
031-260024	723-25	Harding St
031-200043	615	Harding St
010-170003	505	High St
030-200019	751	Jones St S
023-280005	215	Jones St S
023-270001	206	Jones St S
023-280012	650	Lawrence St
031-040045	9	Ross Ct

031-040039	12	Ross Ct
031-040035	4	Ross Ct
031-040036	6	Ross Ct
010-150029	357	University Blvd
031-350014	201	Virginia Ave
045-200010	1111	Halifax St
045-200011	1115	Halifax St
024-100005	1230	High St W
024-080016	1119	High St W
031-240016	741	BLICK ST
031-230009	742	BLICK ST



Proposal
Petersburg
Revitalization Plan

J.C. Bynum Construction LLC

7639 Hull Street Road, Suite 105

N. Chesterfield, VA 23235

J. C. Bynum Construction LLC

Petersburg Revitalization Plan

Executive Summary

Housing has become a crisis not only in Petersburg but nationally. J.C. Bynum Construction LLC is committed to working to solve the housing crisis in Petersburg, Virginia. The purchase of the parcels listed is for the purpose of affordable housing.

J.C. Bynum Construction is a full-service minority owned company with extensive experience in Real Estate, Development and Construction. We are dedicated to providing affordable housing and creating communities that are safe and beautiful. We are working to make a difference in communities around the Commonwealth.

J.C. Bynum Construction will purchase vacant lots for the purpose of developing distressed areas in Petersburg. We will also offer jobs to Petersburg residents.

Mission

J.C. Bynum Construction LLC is committed to the respectful, thoughtful development of communities. Our development provides revitalization, beautiful spaces and preserves the natural beauty of land. J.C. Bynum Construction is experienced, reliable, dependable and stable.

Organization

J.C. Bynum Construction LLC was founded by Sheila Coleman and she currently sits on the Virginia Board for Contractors as the first African-American Woman appointed by Governor Terry McAuliffe. Sheila Coleman is a licensed Realtor with over two decades of experience. J.C. Bynum Construction is a Class A Construction Company with Commercial Building (CBC) Residential Building (RBC) specialties. Rashad Coleman has over twenty years of experience in Real Estate development and Construction. Rashad Coleman expanded their construction company to seventeen states across the country. Rashad has experience in construction design and engineering.

Development Plans

J.C. Bynum Construction has partnered with VA Choice Real Estate. During the construction process VA Choice Real Estate will list the houses in the Multiple Listing Services. This will allow for the presale of the homes prior to construction. The Real Estate firm will offer First Time Homebuyers classes and their Realtors are certified to offer these classes. After completing the class the buyers are eligible for grant funding for down payment and closing cost. This will assist buyers

with their home purchase. J.C. Bynum Construction has partnered with two mortgage companies, Movement Mortgage and KORE. This partnership will offer buyers with access to grant funding. KORE mortgage company offers a single closing which will allow the buyer to have one closing while the house is under construction.

The base price will range between \$165,000 to \$175,000. Buyers will have a host of options to decide from. The house will have bedroom options of 3 to 5 bedrooms with 2 to 3 bathrooms. We will offer garage options as well.

Below is a link to a video of a similar project in Richmond that we are planning to bring to Petersburg. The home you see has all of the available options.

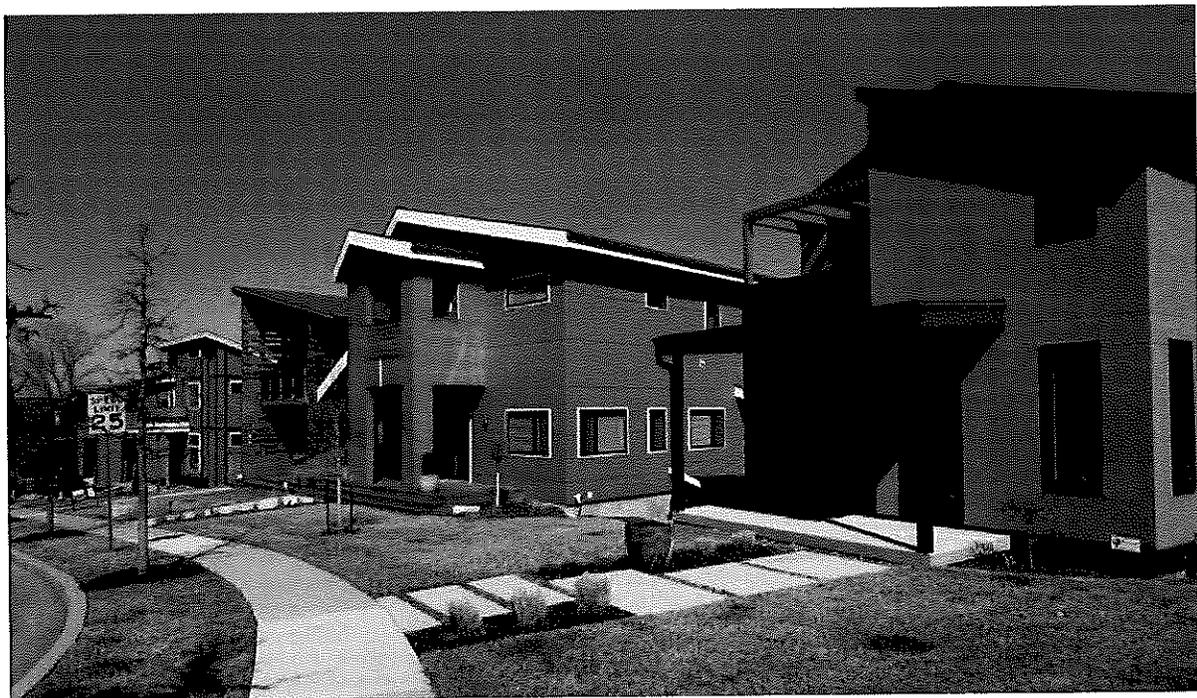
Video

<https://drive.google.com/file/d/12aHFy6XyaPgslGaef-90p6WSJP4PLGs/view>

Photos

<https://galleries.page.link/CBGhZ>

Below is an example of what a street will resemble.





January 6, 2020

To whom it may concern:

Sheila and Rashad Coleman have been pre-approved for a construction loan for the purpose of obtaining 35 lots in the City of Petersburg for up to \$1.5 million dollars. In addition, they have four hundred thousand dollars in liquid funds available to begin the project while they are securing additional commercial funding for their construction company J.C. Bynum Construction.

Sheila and Rashad Coleman are financially stable with financing to complete the construction project.

Should you have any questions pertaining to this matter, feel free to contact me at: (804) 521-2673.

Sincerely,

A handwritten signature in black ink that reads "Kelvin Oliver".

Kelvin Oliver
President

KORE Mortgage, LLC
7400 Beaufont Springs Drive, Suite 300
Richmond, VA 23225
(804) 521-2673
www.koremortgage.com

Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	215 JONES ST		
Parcel Number	023-280005	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment							
Outstanding Obligations							
Proposed Land Use	RESIDENTIAL		Yes	No			
Comp Plan Land Use	RESIDENTIAL	Conformance	YES				
Zoning	R-3	Conformance	YES				
Enterprise Zone	NO						
Rehab/Abatement	NO						
New Construction	YES						
Historic District	YES						
Assessed Value	\$ 5,900.00	Appraised Value	\$ -	Date			
City Revenue from Sale	\$ (4,900.00)						
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20			
Real Estate Tax	\$ -	\$ 79.65	\$ 398.25	\$ 202,898.25			
Personal Property Tax	\$ -	\$ -	\$ -	\$ -			
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -			
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -			
Business License Fee	\$ -	\$ -	\$ -	\$ -			
Lodging Tax	\$ -	\$ -	\$ -	\$ -			
Meals Tax	\$ -	\$ -	\$ -	\$ -			
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -			
Total	\$ -	\$ 79.65	\$ 398.25	\$ 202,898.25			
Total Tax Revenue	\$ -	\$ 79.65	\$ 398.25	\$ 202,898.25			
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -			
City ROI (Revenue - Cost)	\$ -	\$ 79.65	\$ 398.25	\$ 202,898.25			
Staff Recommendation							
Last Use Public				Comm. Review Date			
Council Decision				Council Review Date			
Disposition Ord #				Ord Date	Page 153 of 472		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 023-280005
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Grassy Lot
 Property Location 215 JONES ST
 Property Use CIP
 Most Recent Sale Date 11/2/2006
 Legal Reference 2006-5604
 Grantor
 Sale Price 10,100
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 5,900 Total Value 5,900

Building Description

Building Style N/A
 # of Living Units N/A
 Year Built N/A
 Building Grade N/A
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type N/A
 Frame Type N/A
 Roof Structure N/A
 Roof Cover N/A
 Siding N/A
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type N/A
 Basement Floor N/A
 Heating Type N/A
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

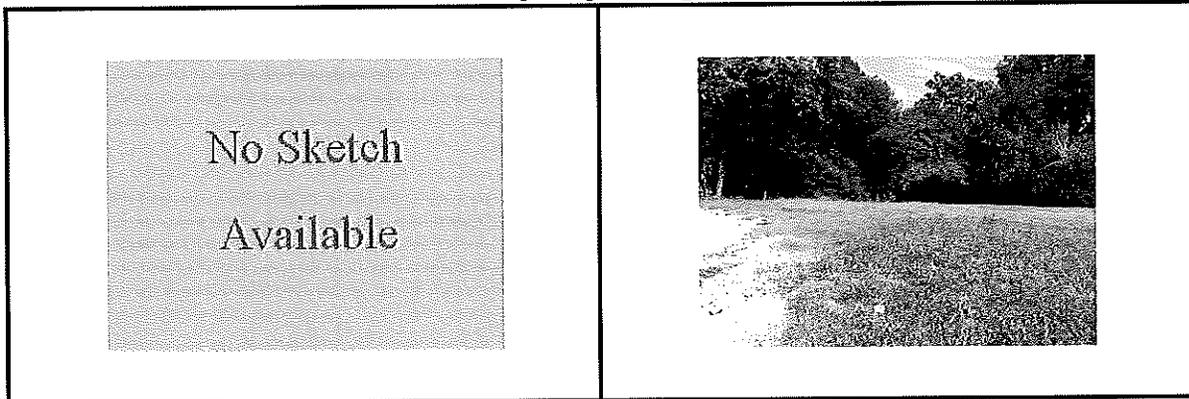
Legal Description

30.10X135

Narrative Description of Property

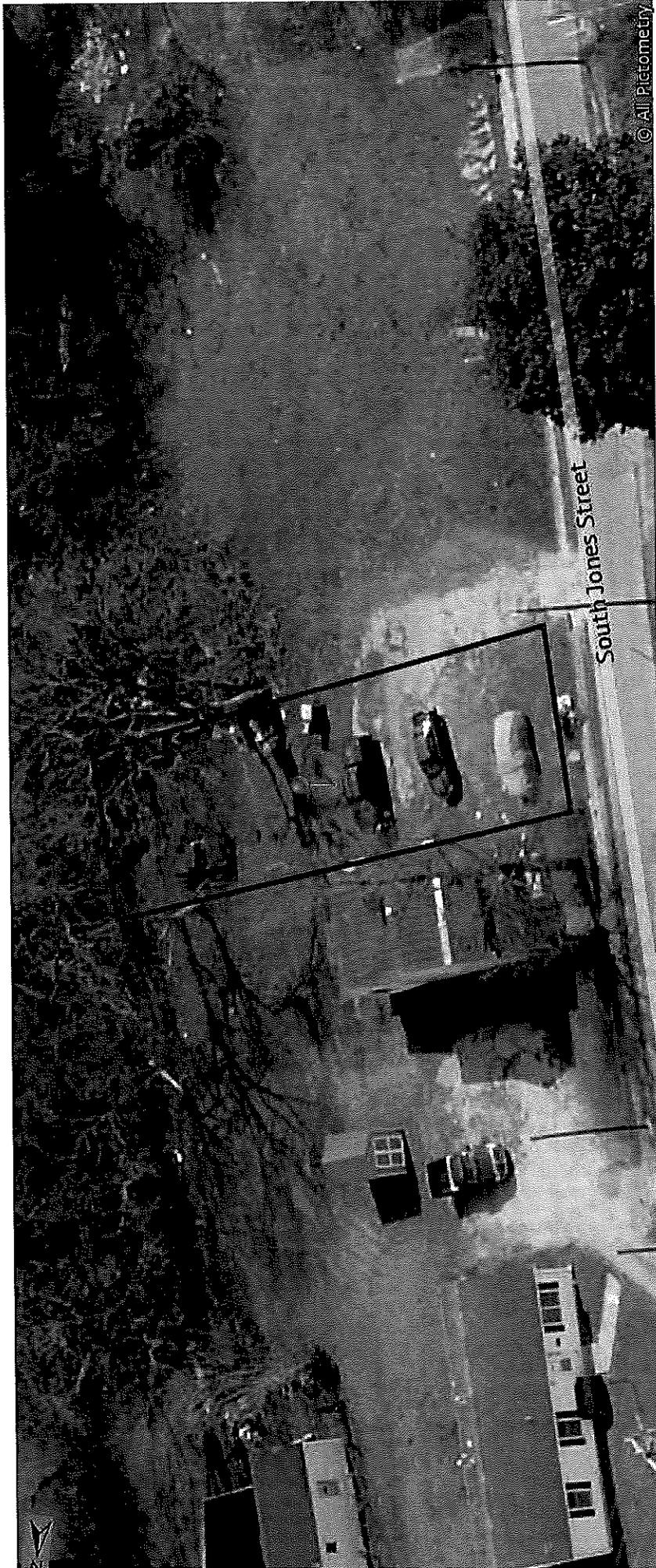
This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

215 Jones St S



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	715 E WYTHE ST		
Parcel Number	012-2600019	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL	Conformance	Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	NO					
New Construction	YES					
Historic District	NO					
Assessed Value	\$ 6,500.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (5,500.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 87.75	\$ 438.75	\$ 202,938.75		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 87.75	\$ 438.75	\$ 202,938.75		
Total Tax Revenue	\$ -	\$ 87.75	\$ 438.75	\$ 202,938.75		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 87.75	\$ 438.75	\$ 202,938.75		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date	Page 156 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-260019
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 715 E WYTHE ST
 Property Use CIP
 Most Recent Sale Date 12/21/2006
 Legal Reference 544-746
 Grantor
 Sale Price 19,000
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 6,500 Total Value 6,500

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

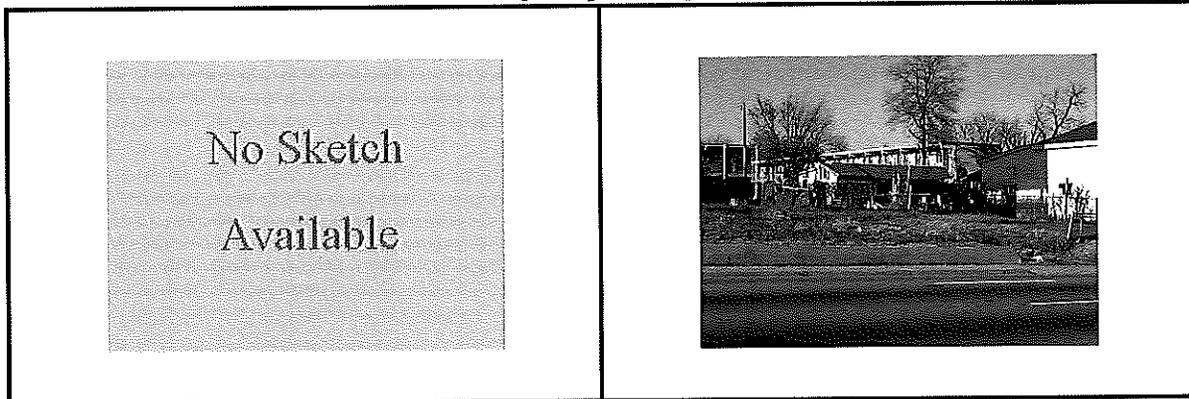
Legal Description

2 PARCELS

Narrative Description of Property

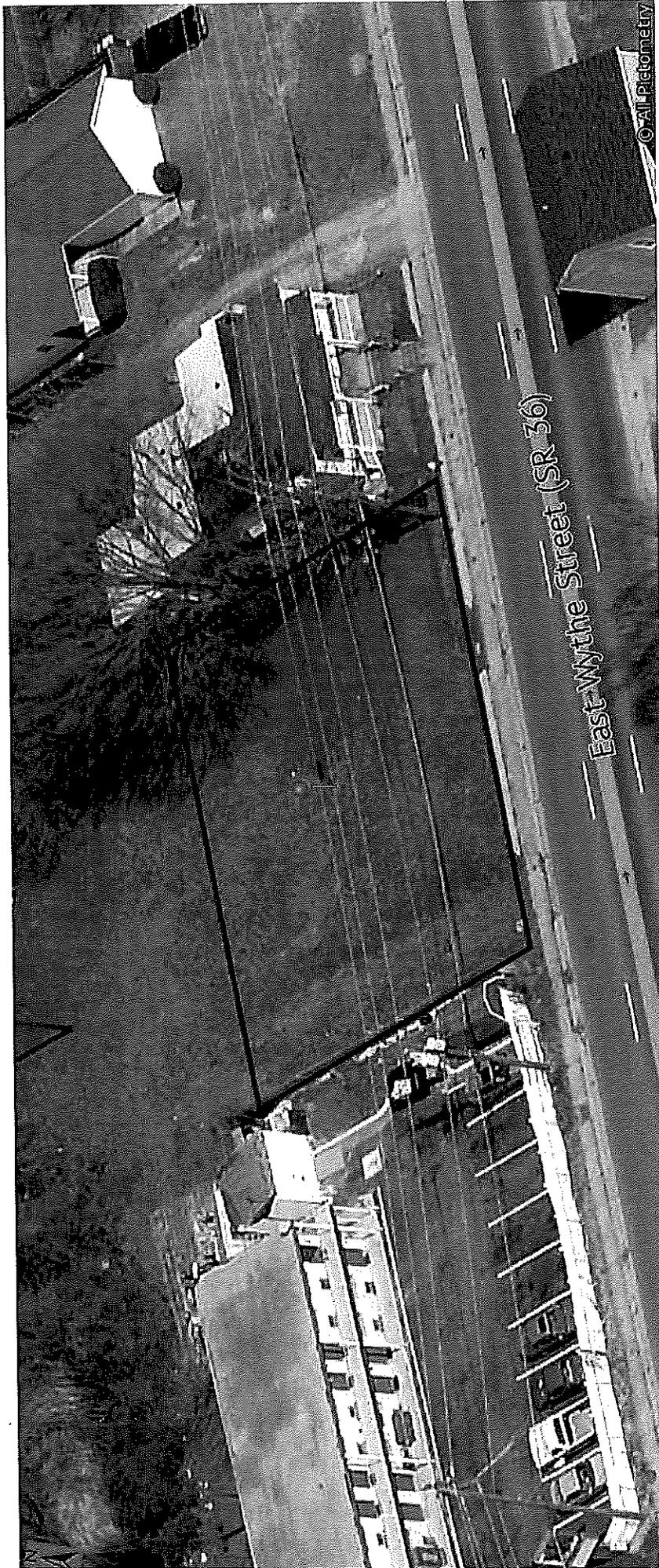
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

715 Wythe St E



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	206 JONES ST		
Parcel Number	23270001	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone						
Rehab/Abatement						
New Construction	YES					
Historic District	YES					
Assessed Value	\$ 5,400.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (4,400.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Total Tax Revenue	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 023-270001
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Lot

Property Location 206 JONES ST
Property Use CIP

Mailing Address 135 N. Union St

Most Recent Sale Date 1/19/2000

Legal Reference 630-459

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 2,000

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 5,400

Total Value 5,400

Building Description

Building Style N/A
of Living Units N/A
Year Built N/A
Building Grade N/A
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type N/A
Frame Type N/A
Roof Structure N/A
Roof Cover N/A
Siding N/A
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type N/A
Basement Floor N/A
Heating Type N/A
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

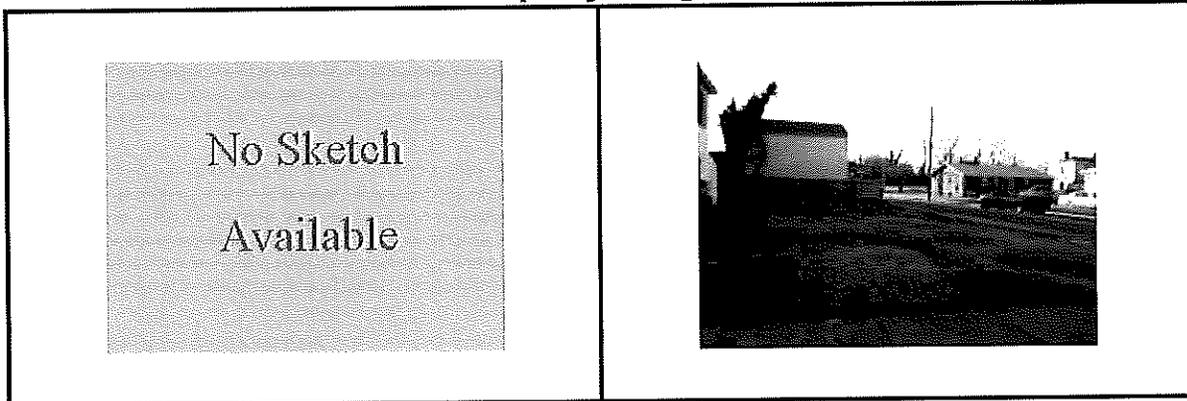
Legal Description

Pridesfield 40X75

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

206 S Jones St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	857 BANK ST		
Parcel Number	012-070015	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 10,700.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (9,700.00)		
Projected Tax Revenue	Abatement	Year 1	Year 5
Real Estate Tax	\$ -	\$ 144.45	\$ 722.25
Personal Property Tax	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -
Total	\$ -	\$ 144.45	\$ 722.25
Total Tax Revenue	\$ -	\$ 144.45	\$ 722.25
Waivers & Other Costs to the City	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 144.45	\$ 722.25
Staff Recommendation			
Last Use Public			
Council Decision			
Disposition Ord #			
		Comm. Review Date	
		Council Review Date	
		Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-070015
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 857 BANK ST
 Property Use CIP
 Most Recent Sale Date 12/4/2008
 Legal Reference 2008-4702
 Grantor
 Sale Price 34,500
 Land Area acres

Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 10,700	Total Value 10,700
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Building Description

Building Style N/A
 # of Living Units N/A
 Year Built N/A
 Building Grade N/A
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type N/A
 Frame Type N/A
 Roof Structure N/A
 Roof Cover N/A
 Siding N/A
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type N/A
 Basement Floor N/A
 Heating Type N/A
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

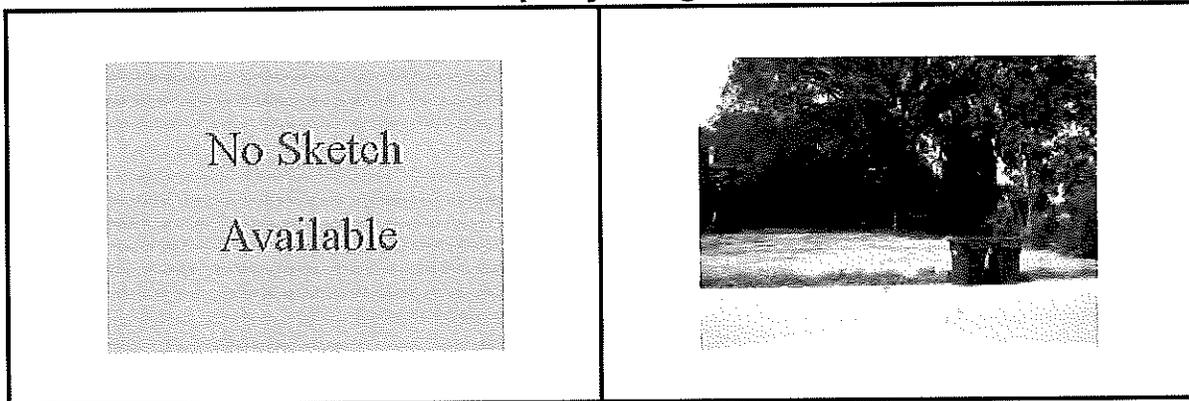
Legal Description

PT LOT 9OLD BLANDFORD PL 50X108

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

857 Bank St E



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	851 BANK ST		
Parcel Number	012-070018	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	NO					
New Construction	YES					
Historic District	NO					
Assessed Value	\$ 5,400.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (4,400.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Total Tax Revenue		\$ 72.90	\$ 364.50	\$ 202,864.50		
Waivers & Other Costs to the City		\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-070018
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 851 BANK ST
 Property Use CIP
 Most Recent Sale Date 3/14/2007
 Legal Reference 2007-1513
 Grantor
 Sale Price 22,000
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 5,400 Total Value 5,400

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

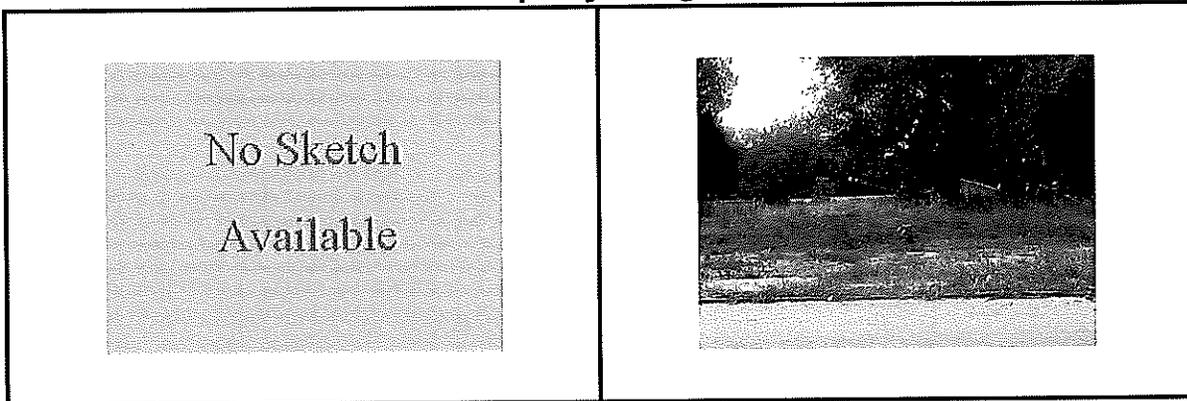
Legal Description

24 X 108

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

851 Bank St E



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	115 BURCH ST		
Parcel Number	012-080016	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment					
Outstanding Obligations					
Proposed Land Use	RESIDENTIAL	Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES		
Zoning	R-3	Conformance	YES		
Enterprise Zone	NO				
Rehab/Abatement	NO				
New Construction	YES				
Historic District	NO				
Assessed Value	\$ 8,400.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (7,400.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 113.40	\$ 567.00	\$ 203,067.00	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 113.40	\$ 567.00	\$ 203,067.00	
Total Tax Revenue		\$ 113.40	\$ 567.00	\$ 203,067.00	
Waivers & Other Costs to the City		\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 113.40	\$ 567.00	\$ 203,067.00	
Staff Recommendation					
Last Use Public			Comm. Review Date		
Council Decision			Council Review Date		
Disposition Ord #			Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-080016
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Wooded Lot
 Property Location 115 BURCH ST
 Property Use CIP
 Most Recent Sale Date 4/25/2003
 Legal Reference 2003-1759
 Grantor
 Sale Price 4,250
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 8,400 Total Value 8,400

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

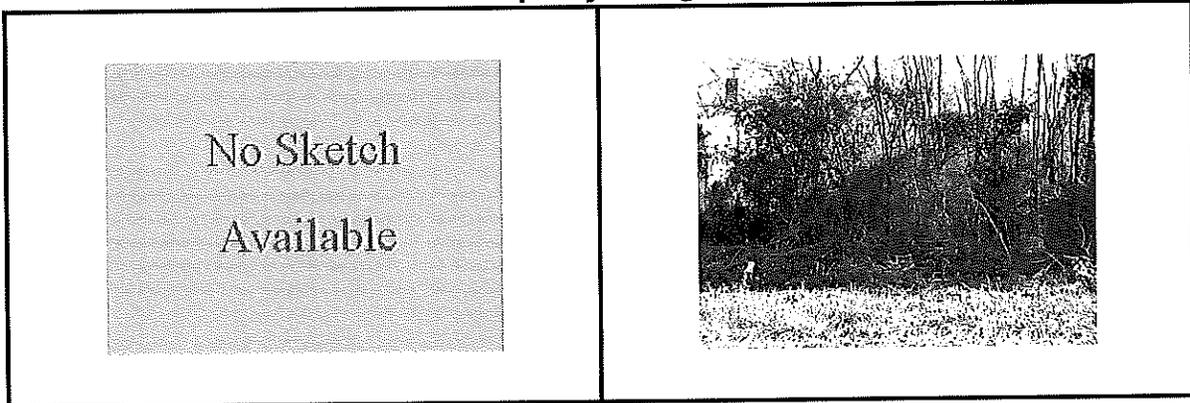
Legal Description

LOT 90 FOLEY PLAT 48 X 129

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

115 N Burch St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	105 BURCH ST		
Parcel Number	012-0800012	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 10,900.00	Appraised Value	\$ -
			Date

City Revenue from Sale	\$ (9,900.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Total Tax Revenue		\$ 147.15	\$ 735.75	\$ 203,235.75
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Staff Recommendation				
Last Use Public		Comm. Review Date		
Council Decision		Council Review Date		
Disposition Ord #		Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-080012
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Wooded Lot
 Property Location 105 BURCH ST
 Property Use CIP
 Most Recent Sale Date 4/4/2006
 Legal Reference 2006-1628
 Grantor
 Sale Price 7,700
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 10,900 Total Value 10,900

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

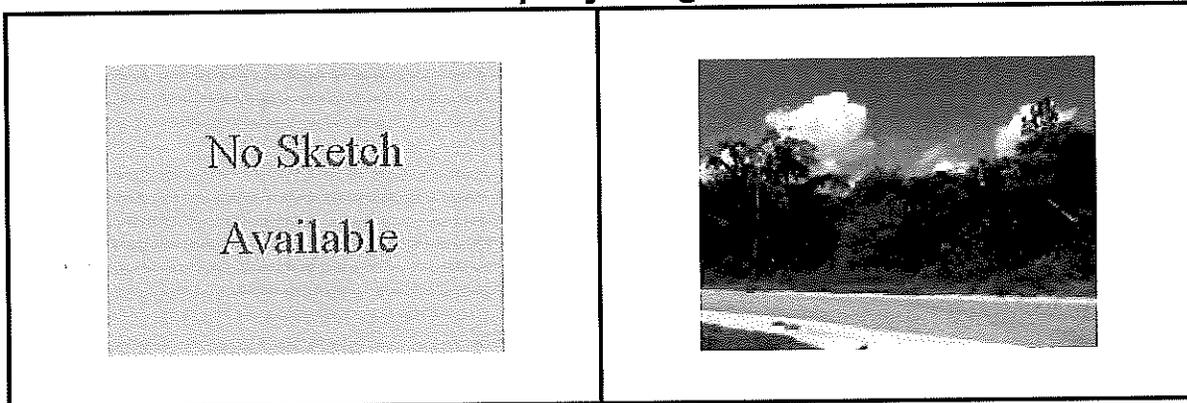
Legal Description

LTS 92-93 & PT 91 BURCH PLAT

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

105 N Burch St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	109 BURCH ST		
Parcel Number	012-080014	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 5,300.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (4,300.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 71.55	\$ 357.75	\$ 202,857.75
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 71.55	\$ 357.75	\$ 202,857.75
Total Tax Revenue		\$ 71.55	\$ 357.75	\$ 202,857.75
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 71.55	\$ 357.75	\$ 202,857.75
Staff Recommendation				
Last Use Public		Comm. Review Date		
Council Decision		Council Review Date		
Disposition Ord #		Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-080014
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Wooded Lot
 Property Location 109 BURCH ST
 Property Use CIP
 Most Recent Sale Date 8/22/2001
 Legal Reference 2001-3112
 Grantor
 Sale Price 2,100
 Land Area acres

Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 5,300	Total Value 5,300
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Building Description

Building Style NONE # of Living Units 0 Year Built N/A Building Grade EXCELLENT Building Condition N/A Finished Area (SF) Number Rooms 0 # of 3/4 Baths	Foundation Type Frame Type Roof Structure Roof Cover Siding Interior Walls N/A # of Bedrooms 0 # of 1/2 Baths	Flooring Type CARPET Basement Floor N/A Heating Type NONE Heating Fuel N/A Air Conditioning # of Bsmt Garages 0 # of Full Baths # of Other Fixtures
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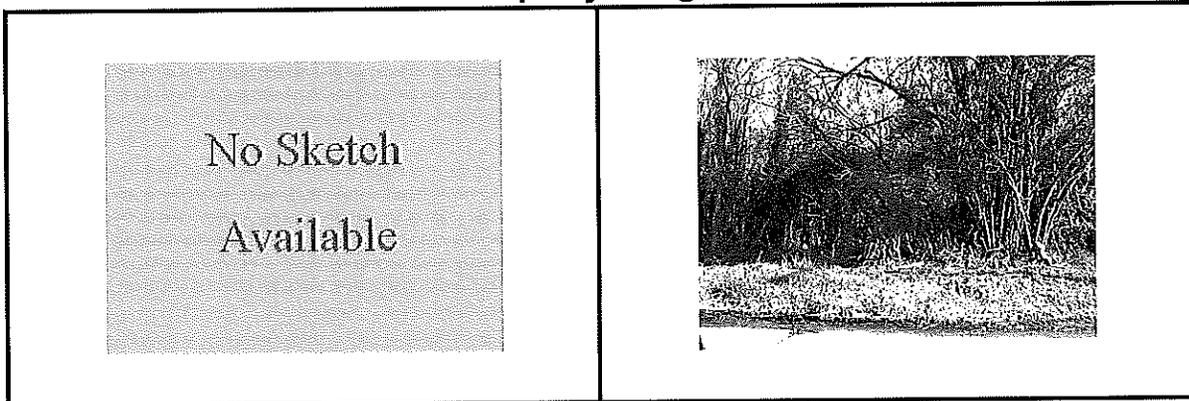
Legal Description

PT LT 91 FOLEY ESTATE

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

109 N Burch St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	113 BURCH ST		
Parcel Number	012-0800015	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance YES	
Zoning	R-3	Conformance YES	
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 1,800.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (800.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 24.30	\$ 121.50	\$ 202,621.50
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 24.30	\$ 121.50	\$ 202,621.50
Total Tax Revenue		\$ 24.30	\$ 121.50	\$ 202,621.50
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 24.30	\$ 121.50	\$ 202,621.50

Staff Recommendation			
Last Use Public		Comm. Review Date	
Council Decision		Council Review Date	
Disposition Ord #		Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-080015
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Wooded Lot

Mailing Address 135 N. Union St

Property Location 113 BURCH ST
Property Use CIP

City Petersburg

Most Recent Sale Date 8/2/2001
Legal Reference 2001-2835

Mailing State VA Zip 23803

Grantor

ParcelZoning R-3

Sale Price 200

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features 0
Value

Land Value 1,800

Total Value 1,800

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

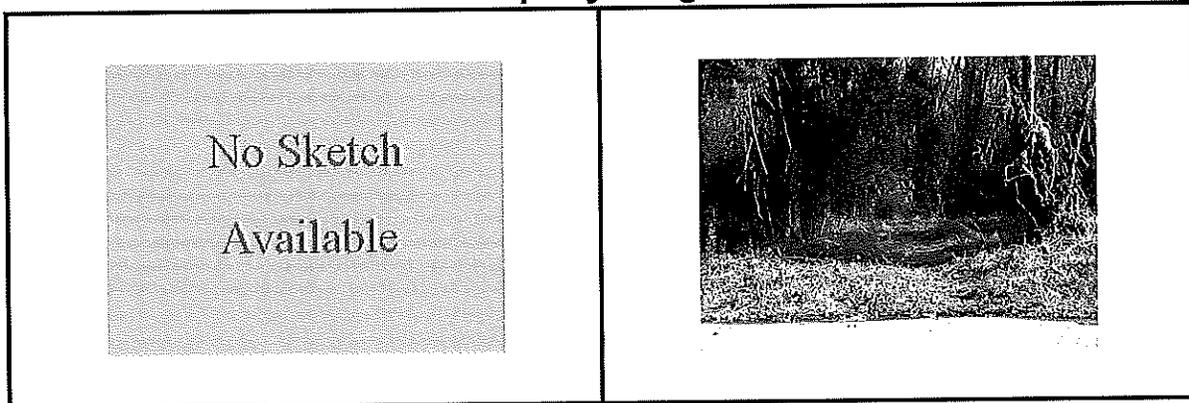
Legal Description

PT LT 90-91 BURCH PLAT

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

113 N Burch St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	806 WASHINGTON ST		
Parcel Number	012-250002	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL	Yes	No			
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	NO					
New Construction	YES					
Historic District	NO					
Assessed Value	\$ 5,400.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (4,400.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Total Tax Revenue		\$ 72.90	\$ 364.50	\$ 202,864.50		
Waivers & Other Costs to the City		\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 72.90	\$ 364.50	\$ 202,864.50		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-250002
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 Parcel Zoning R-3

Account Number Lot
 Property Location 806 WASHINGTON ST
 Property Use CIP
 Most Recent Sale Date 9/27/2006
 Legal Reference 2006-4939
 Grantor
 Sale Price 6,000
 Land Area acres

Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 5,400	Total Value 5,400
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Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

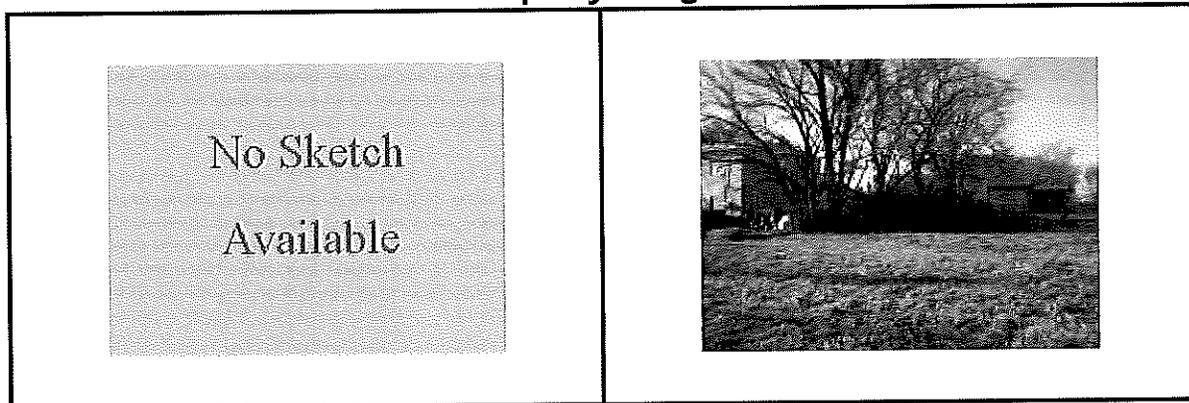
Legal Description

PT LOT 15 BURCH PLAT50 X 40

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

806 Washington St E



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	734 WASHINGTON ST		
Parcel Number	012-2600004	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment			
Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance YES	
Zoning	R-3	Conformance YES	
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 5,400.00	Appraised Value	\$ - Date
City Revenue from Sale	\$ (4,400.00)		
Projected Tax Revenue	Abatement	Year 1	Year 5
Real Estate Tax	\$ -	\$ 72.90	\$ 364.50
Personal Property Tax	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -
Total	\$ -	\$ 72.90	\$ 364.50
Total Tax Revenue	\$ -	\$ 72.90	\$ 364.50
Waivers & Other Costs to the City	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 72.90	\$ 364.50
Staff Recommendation			
Last Use Public			Comm. Review Date
Council Decision			Council Review Date
Disposition Ord #			Ord Date

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-260004
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 734 WASHINGTON ST
 Property Use CIP
 Most Recent Sale Date 6/12/2001
 Legal Reference 2001-2150
 Grantor
 Sale Price 3,450
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 5,400 Total Value 5,400

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

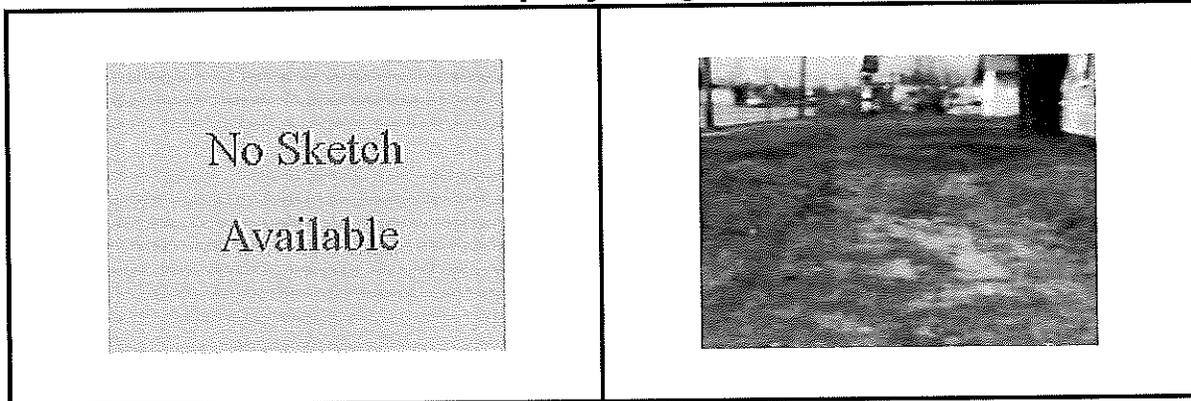
Legal Description

PT LT 44 NEW BLANDFORD41-50 X 53

Narrative Description of Property

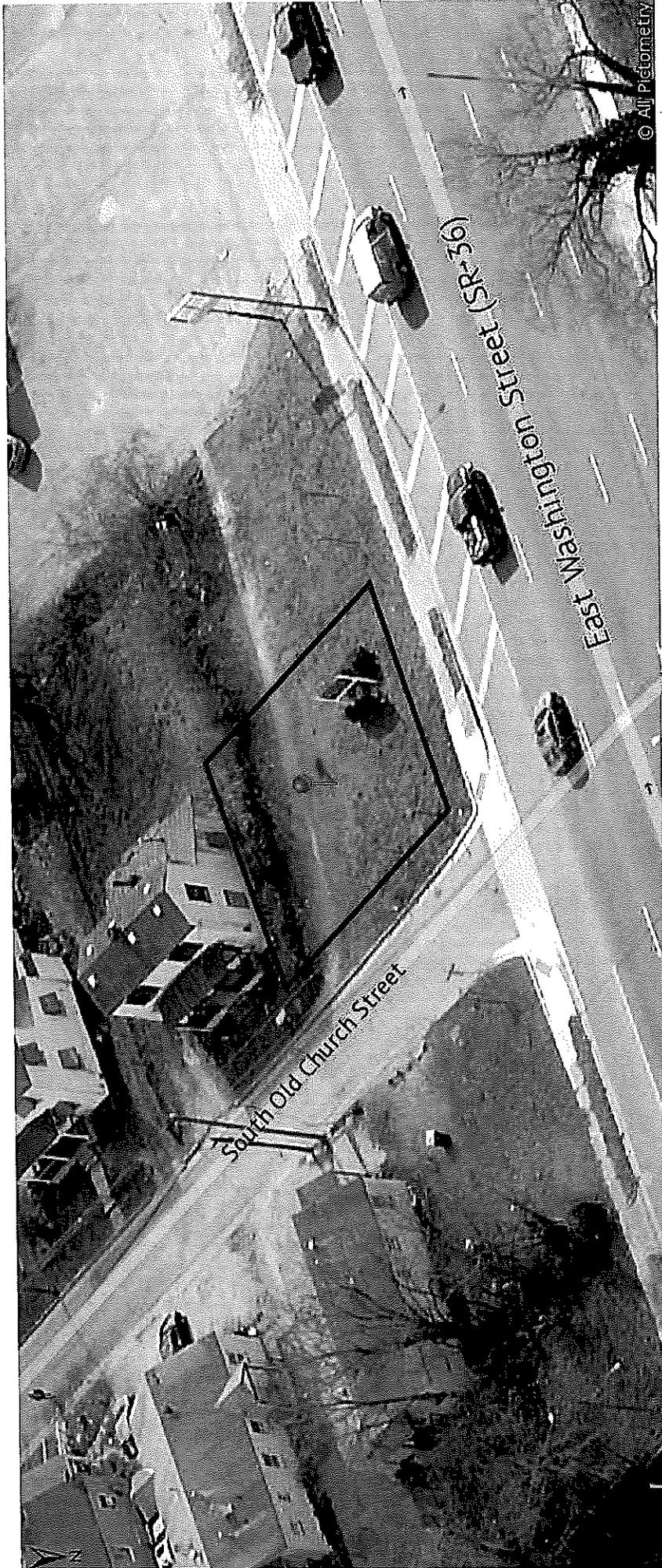
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

734 Washington St E



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	1157 WASHINGTON ST		
Parcel Number	024-2200018	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 8,200.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (7,200.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 110.70	\$ 553.50	\$ 203,053.50	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 110.70	\$ 553.50	\$ 203,053.50	
Total Tax Revenue		\$ 110.70	\$ 553.50	\$ 203,053.50	
Waivers & Other Costs to the City		\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 110.70	\$ 553.50	\$ 203,053.50	
Staff Recommendation					
Last Use Public			Comm. Review Date		
Council Decision			Council Review Date		
Disposition Ord #			Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 024-220018
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Grassy Lot
 Property Location 1157 WASHINGTON ST
 Property Use CIP
 Most Recent Sale Date 4/26/2019
 Legal Reference 2019-1047
 Grantor CITY OF PETERSBURG,
 Sale Price 0
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 8,200 Total Value 8,200

Building Description

Building Style N/A
 # of Living Units N/A
 Year Built N/A
 Building Grade N/A
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type N/A
 Frame Type N/A
 Roof Structure N/A
 Roof Cover N/A
 Siding N/A
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type N/A
 Basement Floor N/A
 Heating Type N/A
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

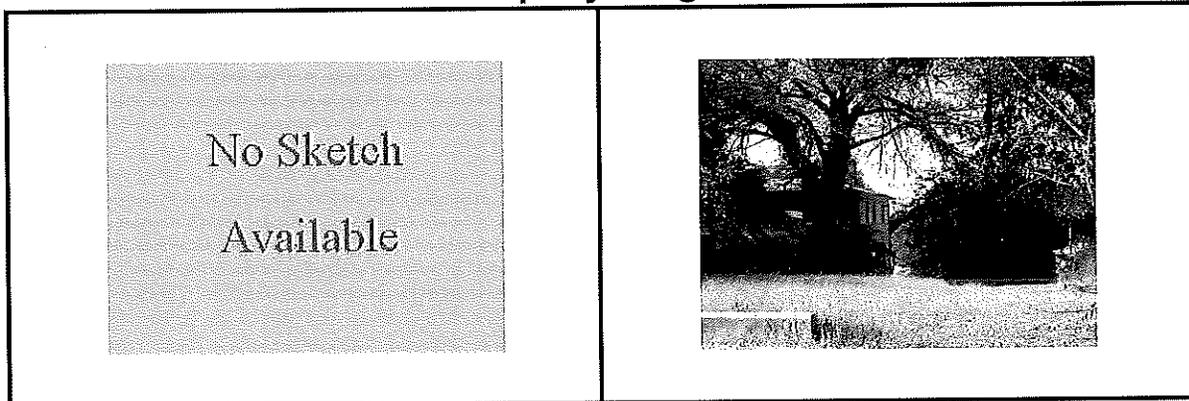
Legal Description

PT LOT 114 PILLOW PLATWELLS EST 50 X 128.2

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1157 Washington St W



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	716 E WYTHE ST		
Parcel Number	012-330006	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment							
Outstanding Obligations							
Proposed Land Use	RESIDENTIAL		Yes	No			
Comp Plan Land Use	RESIDENTIAL	Conformance	YES				
Zoning	R-3	Conformance	YES				
Enterprise Zone	NO						
Rehab/Abatement	NO						
New Construction	YES						
Historic District	NO						
Assessed Value	\$ 10,700.00	Appraised Value	\$ -	Date			
City Revenue from Sale	\$ (9,700.00)						
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20			
Real Estate Tax	\$ -	\$ 144.45	\$ 722.25	\$ 203,222.25			
Personal Property Tax	\$ -	\$ -	\$ -	\$ -			
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -			
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -			
Business License Fee	\$ -	\$ -	\$ -	\$ -			
Lodging Tax	\$ -	\$ -	\$ -	\$ -			
Meals Tax	\$ -	\$ -	\$ -	\$ -			
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -			
Total	\$ -	\$ 144.45	\$ 722.25	\$ 203,222.25			
Total Tax Revenue	\$ -	\$ 144.45	\$ 722.25	\$ 203,222.25			
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -			
City ROI (Revenue - Cost)	\$ -	\$ 144.45	\$ 722.25	\$ 203,222.25			
Staff Recommendation							
Last Use Public				Comm. Review Date			
Council Decision				Council Review Date			
Disposition Ord #				Ord Date	Page 189 of 472		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 012-330006
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 716 E WYTHE ST
 Property Use CIP
 Most Recent Sale Date 2/6/2007
 Legal Reference 2007-774
 Grantor
 Sale Price 8,000
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 10,700 Total Value 10,700

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

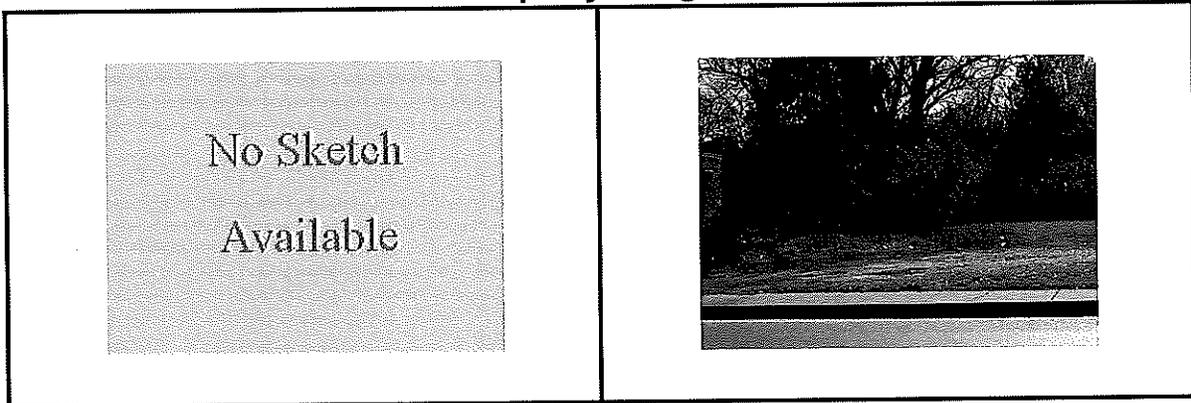
Legal Description

LOTS E & GW.J. MOORE PLAT

Narrative Description of Property

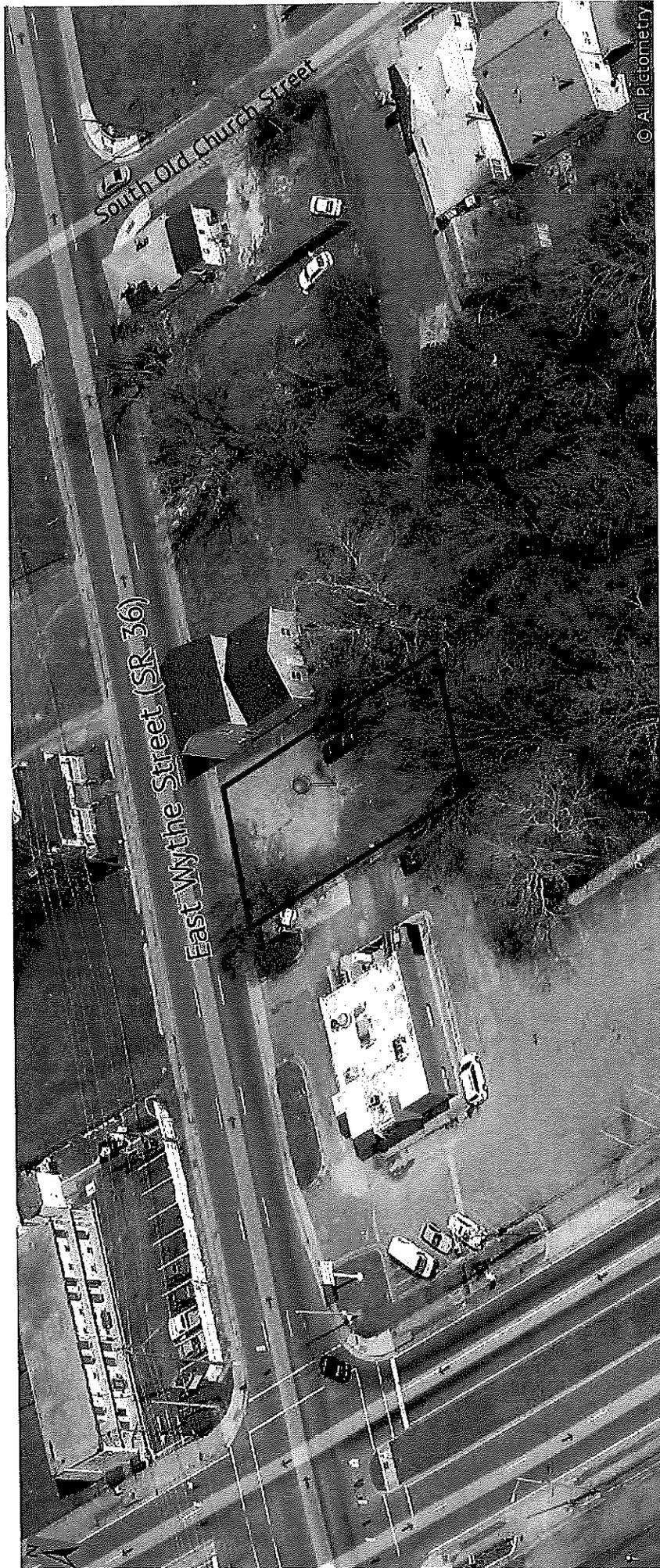
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

716 Wythe St E



© All Pictometry

Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	723 HARDING ST		
Parcel Number	031-260024	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 4,100.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (3,100.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 55.35	\$ 276.75	\$ 202,776.75
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 55.35	\$ 276.75	\$ 202,776.75
Total Tax Revenue		\$ 55.35	\$ 276.75	\$ 202,776.75
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 55.35	\$ 276.75	\$ 202,776.75
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				

Comm. Review Date _____
 Council Review Date _____
 Ord Date _____ Page 192 of 472

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-260024
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 723 HARDING ST
 Property Use CIP
 Most Recent Sale Date 3/25/2002
 Legal Reference 2002-1210
 Grantor
 Sale Price 0
 Land Area acres

Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 4,100	Total Value 4,100
--------------	------------------	-----------------------	------------------	-------------------

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

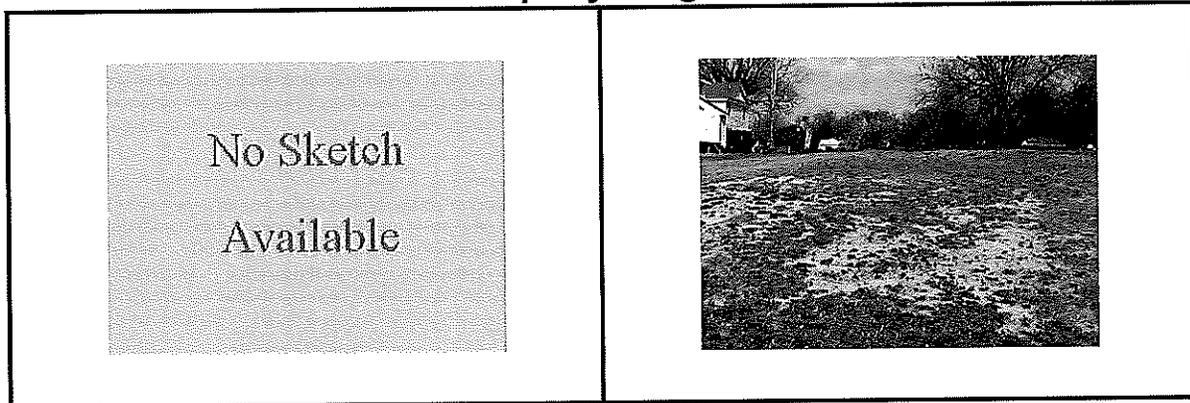
Legal Description

38X105

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

723 Harding St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	615 HARDING ST		
Parcel Number	031-200043	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 3,900.00	Appraised Value	\$ -
			Date

City Revenue from Sale	\$ (2,900.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 52.65	\$ 263.25	\$ 202,763.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 52.65	\$ 263.25	\$ 202,763.25
Total Tax Revenue		\$ 52.65	\$ 263.25	\$ 202,763.25
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 52.65	\$ 263.25	\$ 202,763.25

Staff Recommendation			
Last Use Public		Comm. Review Date	
Council Decision		Council Review Date	
Disposition Ord #		Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-200043
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Grassy Lot

Mailing Address 135 N. Union St

Property Location 615 HARDING ST

Property Use CIP

Most Recent Sale Date 5/1/2006

Legal Reference 2006-2112

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 10,000

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features 0
Value

Land Value 3,900

Total Value 3,900

Building Description

Building Style N/A
of Living Units N/A
Year Built N/A
Building Grade N/A
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type N/A
Frame Type N/A
Roof Structure N/A
Roof Cover N/A
Siding N/A
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type N/A
Basement Floor N/A
Heating Type N/A
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

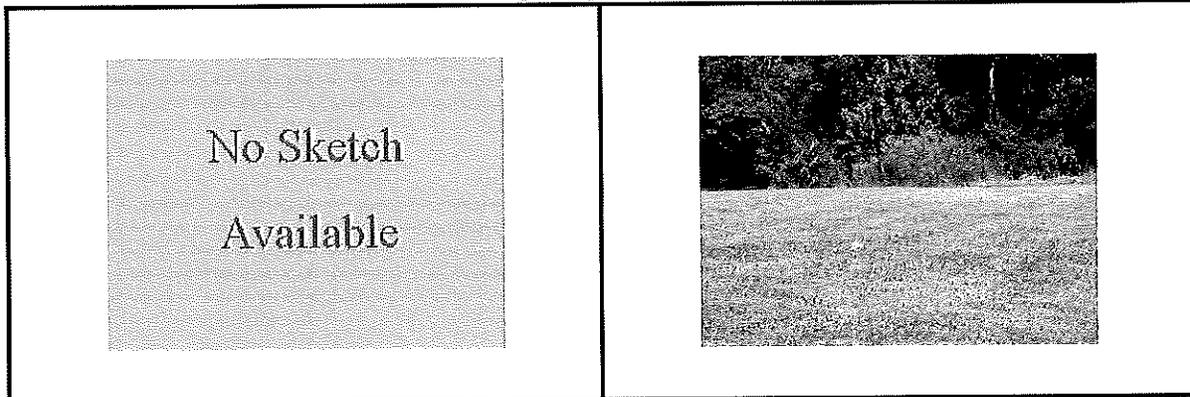
Legal Description

26 X 145

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

615 Harding St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	505 HIGH ST		
Parcel Number	010-170003	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment					
Outstanding Obligations					
Proposed Land Use	RESIDENTIAL	Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES		
Zoning	R-3	Conformance	YES		
Enterprise Zone	NO				
Rehab/Abatement	NO				
New Construction	YES				
Historic District	NO				
Assessed Value	\$ 2,500.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (1,500.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75	
Total Tax Revenue		\$ 33.75	\$ 168.75	\$ 202,668.75	
Waivers & Other Costs to the City		\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75	
Staff Recommendation					
Last Use Public				Comm. Review Date	
Council Decision				Council Review Date	
Disposition Ord #				Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 010-170003
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Neighborhood Park

Mailing Address 135 N. Union St

Property Location 505 HIGH ST
Property Use Urban Vac
Most Recent Sale Date 12/18/2006
Legal Reference 2006-6470

City Petersburg
Mailing State VA Zip 23803
Parcel Zoning R-3

Grantor
Sale Price 0
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 2,500 Total Value 2,500

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

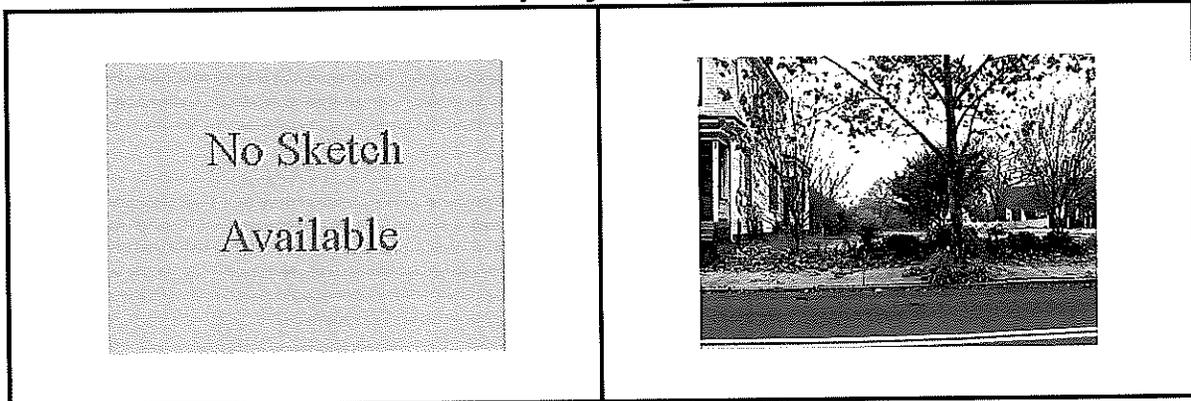
Legal Description

4.4 x 150

Narrative Description of Property

This property contains acres of land mainly classified as Urban Vac with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

505 High St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	751 JONES ST		
Parcel Number	030-200019	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 5,100.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (4,100.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 68.85	\$ 344.25	\$ 202,844.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 68.85	\$ 344.25	\$ 202,844.25
Total Tax Revenue		\$ 68.85	\$ 344.25	\$ 202,844.25
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 68.85	\$ 344.25	\$ 202,844.25
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				

Comm. Review Date _____
 Council Review Date _____
 Ord Date _____ Page 201 of 472

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 030-200019
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Grassy Lot
 Property Location 751 JONES ST
 Property Use CIP
 Most Recent Sale Date 7/7/2004
 Legal Reference 2004-2934
 Grantor
 Sale Price 1,650
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 5,100 Total Value 5,100

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

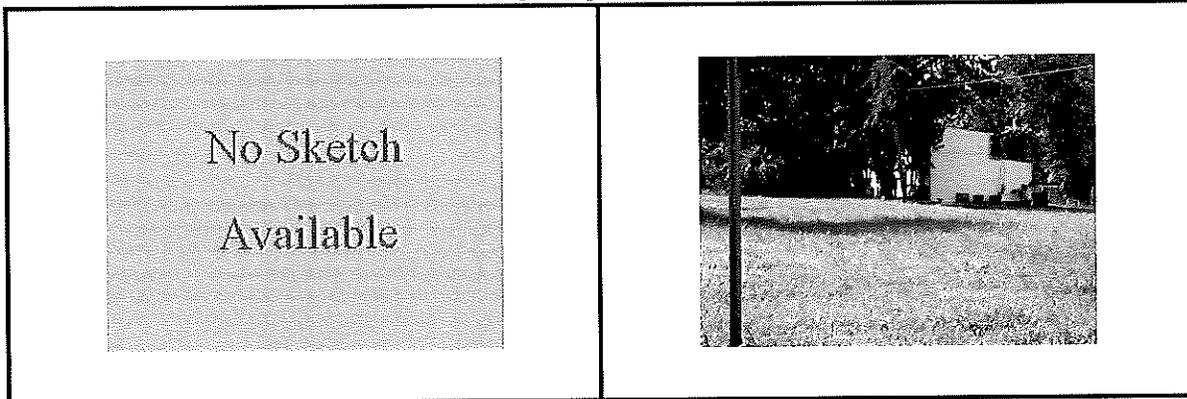
Legal Description

40X112

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

751 Jones St S



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	650 LAWRENCE ST		
Parcel Number	023-280012	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	NO					
New Construction	YES					
Historic District	YES					
Assessed Value	\$ 3,500.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (2,500.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25		
Total Tax Revenue		\$ 47.25	\$ 236.25	\$ 202,736.25		
Waivers & Other Costs to the City		\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date	Page 204 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 023-280012
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 650 LAWRENCE ST
 Property Use CIP
 Most Recent Sale Date 11/4/1999
 Legal Reference 644-445
 Grantor
 Sale Price 8,000
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 3,500 Total Value 3,500

Building Description

Building Style 2STORY
 # of Living Units 0
 Year Built N/A
 Building Grade FAIR
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover COMPOSI
 Siding VINYL/ALUM
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type WOOD
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

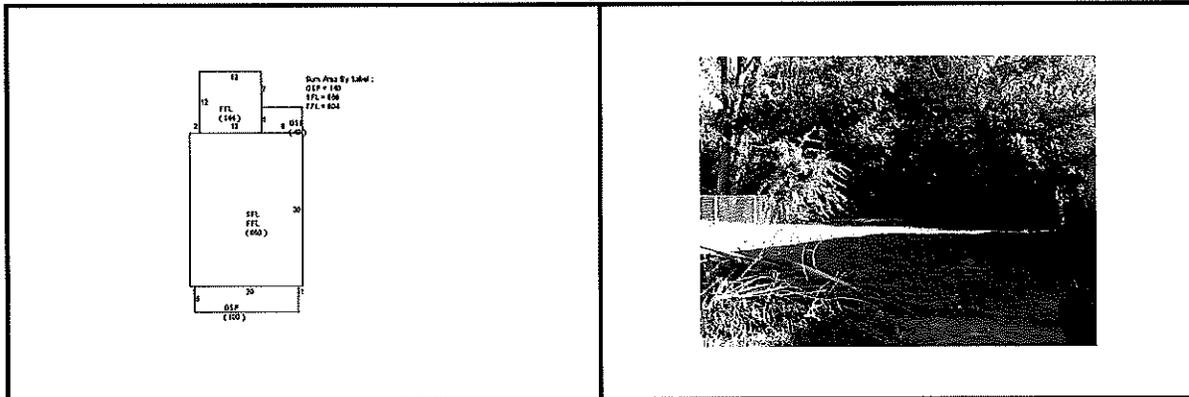
Legal Description

PT LOT 1 HARPER EST 30X74

Narrative Description of Property

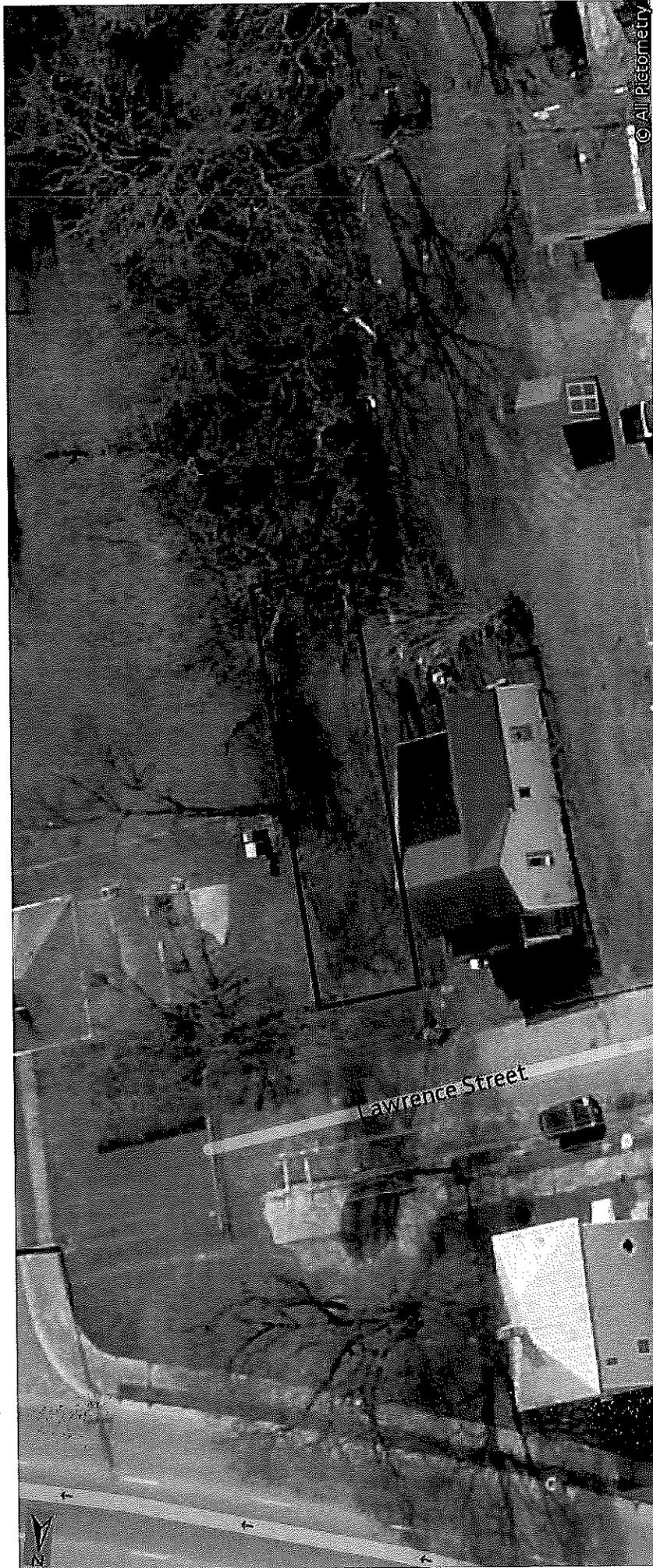
This property contains acres of land mainly classified as CIP with a(n) 2STORY style building, built about N/A , having VINYL/ALUM exterior and COMPOSI roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

650 Lawrence St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	9 ROSS CT		
Parcel Number	031-040045	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	NO					
New Construction	YES					
Historic District	NO					
Assessed Value	\$ 4,800.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (3,800.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 64.80	\$ 324.00	\$ 202,824.00		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 64.80	\$ 324.00	\$ 202,824.00		
Total Tax Revenue		\$ 64.80	\$ 324.00	\$ 202,824.00		
Waivers & Other Costs to the City		\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 64.80	\$ 324.00	\$ 202,824.00		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date	Page 207 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-040045
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Lot

Mailing Address 135 N. Union St

Property Location 9 ROSS CT
Property Use CIP

Most Recent Sale Date 8/10/2010
Legal Reference 2010-2027

City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-3

Grantor
Sale Price 0
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 4,800 Total Value 4,800

Building Description

Building Style N/A
of Living Units N/A
Year Built N/A
Building Grade N/A
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type N/A
Frame Type N/A
Roof Structure N/A
Roof Cover N/A
Siding N/A
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type N/A
Basement Floor N/A
Heating Type N/A
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

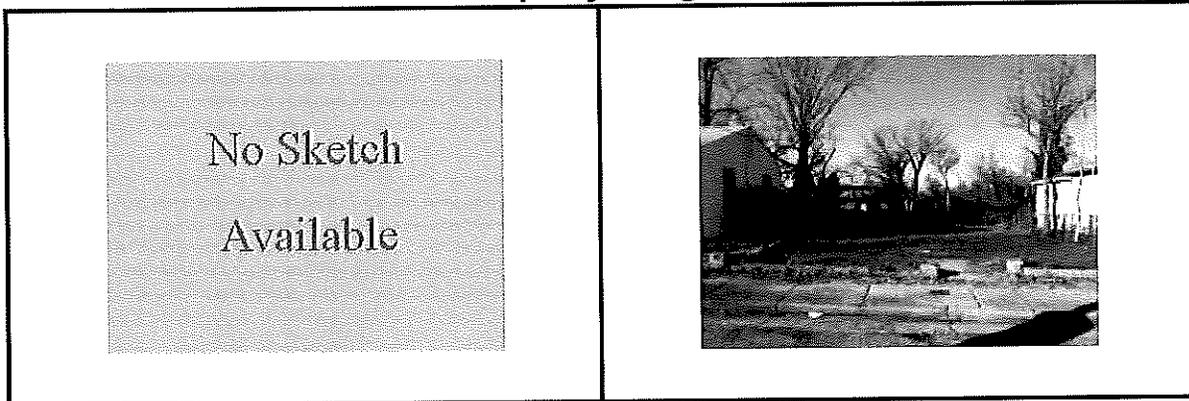
Legal Description

PTS LTS 5 AND 6 ROSS COURT PLAT 41X66

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

9 Ross Ct



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Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	12 ROSS CT		
Parcel Number	031-040039	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 11,100.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (10,100.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 149.85	\$ 749.25	\$ 203,249.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 149.85	\$ 749.25	\$ 203,249.25
Total Tax Revenue		\$ 149.85	\$ 749.25	\$ 203,249.25
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 149.85	\$ 749.25	\$ 203,249.25
Staff Recommendation				
Last Use Public			Comm. Review Date	
Council Decision			Council Review Date	
Disposition Ord #			Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-040039
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 12 ROSS CT
 Property Use CIP
 Most Recent Sale Date 8/10/2010
 Legal Reference 2010-2028
 Grantor
 Sale Price 0
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 11,100 Total Value 11,100

Building Description

Building Style N/A
 # of Living Units N/A
 Year Built N/A
 Building Grade N/A
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type N/A
 Frame Type N/A
 Roof Structure N/A
 Roof Cover N/A
 Siding N/A
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type N/A
 Basement Floor N/A
 Heating Type N/A
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

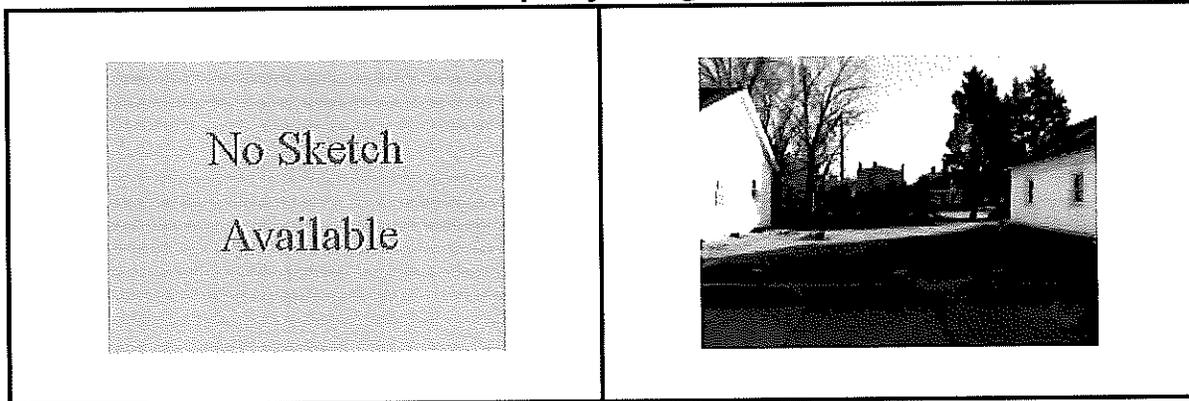
Legal Description

LOT 14 ROSS COURT PLAT34 X 66.25

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

12 Ross Ct



© All Pictometry

Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	4 ROSS CT		
Parcel Number	031-040035	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 3,500.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (2,500.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Total Tax Revenue		\$ 47.25	\$ 236.25	\$ 202,736.25
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				
			Comm. Review Date	
			Council Review Date	
			Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-040035
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Lot

Mailing Address 135 N. Union St

Property Location 4 ROSS CT
Property Use CIP

Most Recent Sale Date 11/21/1988

Legal Reference 617-128

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 15,000

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 3,500

Total Value 3,500

Building Description

Building Style N/A
of Living Units N/A
Year Built N/A
Building Grade N/A
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type N/A
Frame Type N/A
Roof Structure N/A
Roof Cover N/A
Siding N/A
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type N/A
Basement Floor N/A
Heating Type N/A
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

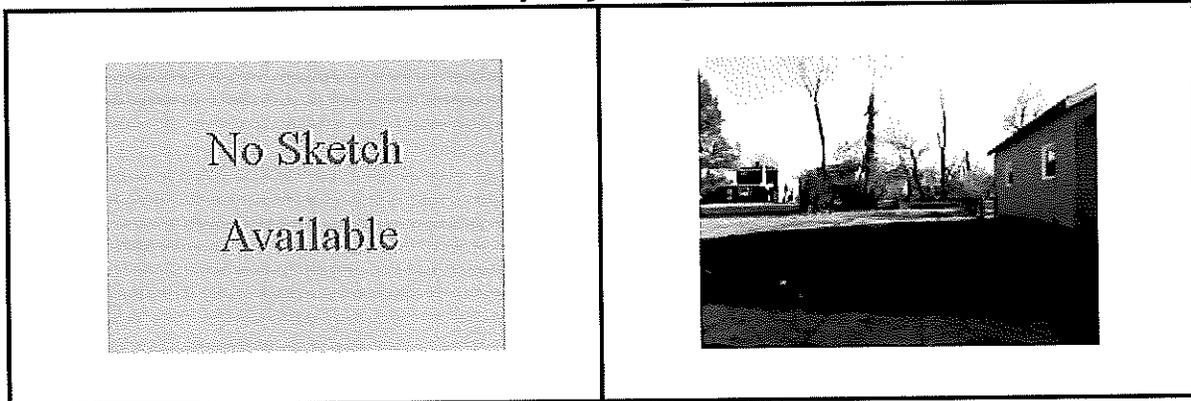
Legal Description

LOT 10 ROSS CT

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

4 Ross Ct



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	6 ROSS CT		
Parcel Number	031-040036	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 3,500.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (2,500.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Total Tax Revenue		\$ 47.25	\$ 236.25	\$ 202,736.25
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 47.25	\$ 236.25	\$ 202,736.25
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				
		Comm. Review Date		
		Council Review Date		
		Ord Date	Page 216 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-040036
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Lot
 Property Location 6 ROSS CT
 Property Use CIP
 Most Recent Sale Date 8/10/2010
 Legal Reference 2010-2026
 Grantor
 Sale Price 0
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 3,500 Total Value 3,500

Building Description

Building Style N/A
 # of Living Units N/A
 Year Built N/A
 Building Grade N/A
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type N/A
 Frame Type N/A
 Roof Structure N/A
 Roof Cover N/A
 Siding N/A
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type N/A
 Basement Floor N/A
 Heating Type N/A
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

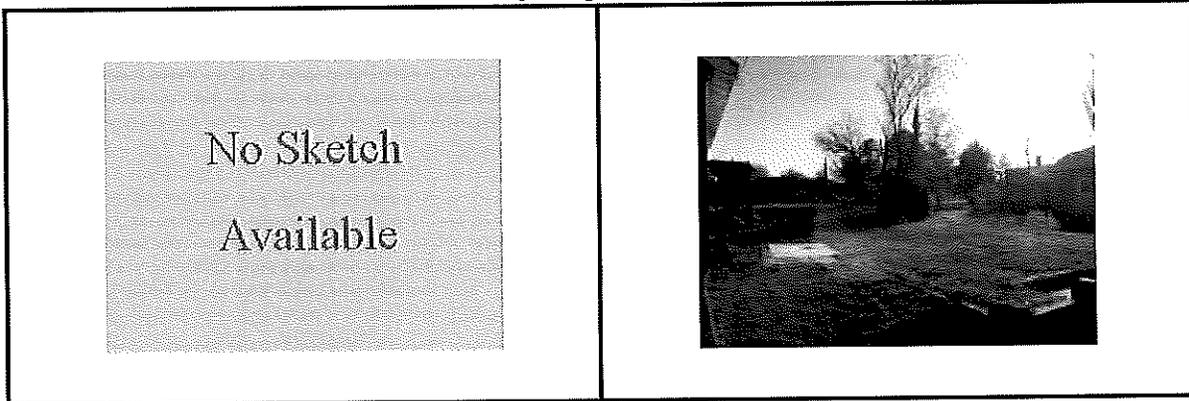
Legal Description

LOT 11 H R H PLAT

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

6 Ross Ct



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	201 VIRGINIA AVE		
Parcel Number	031-350014	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance YES	
Zoning	R-3	Conformance YES	
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 6,600.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (5,600.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50
Total Tax Revenue		\$ 89.10	\$ 445.50	\$ 202,945.50
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				
			Comm. Review Date	
			Council Review Date	
			Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-350014
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Corner Lot

Mailing Address 135 N. Union St

Property Location 201 VIRGINIA AVE

Property Use CIP

Most Recent Sale Date 10/15/1985

Legal Reference 554-872

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 3,050

ParcelZoning R-2

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 6,600 Total Value 6,600

Building Description

Building Style N/A
of Living Units N/A
Year Built N/A
Building Grade N/A
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type N/A
Frame Type N/A
Roof Structure N/A
Roof Cover N/A
Siding N/A
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type N/A
Basement Floor N/A
Heating Type N/A
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

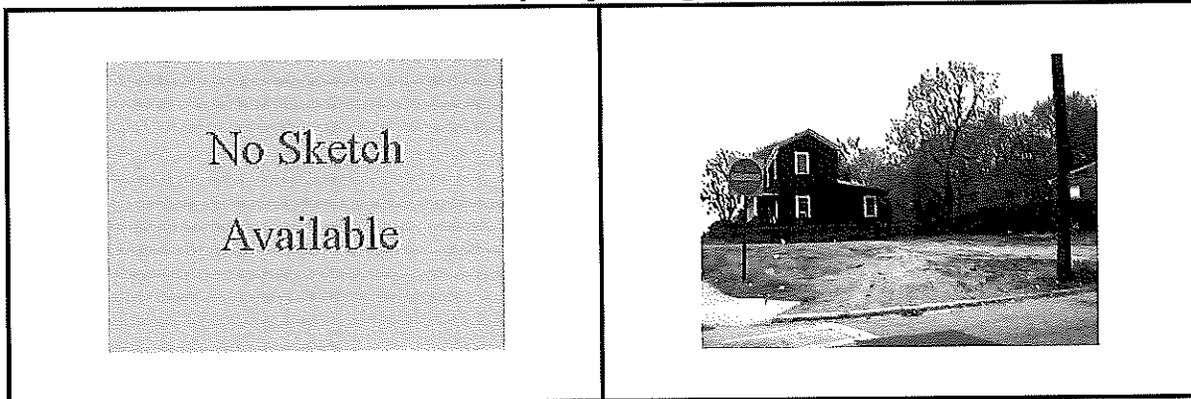
Legal Description

PT LT 451 THE HEIGHTS BOLLING PLAT 76X50

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) N/A style building, built about N/A , having N/A exterior and N/A roof cover, with N/A unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

201 Virginia Avenue



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	1111 HALIFAX ST		
Parcel Number	045-200010	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment					
Outstanding Obligations					
Proposed Land Use	RESIDENTIAL	Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES		
Zoning	R-3	Conformance	YES		
Enterprise Zone	NO				
Rehab/Abatement	NO				
New Construction	YES				
Historic District	NO				
Assessed Value	\$ 13,500.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (12,500.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 182.25	\$ 911.25	\$ 203,411.25	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 182.25	\$ 911.25	\$ 203,411.25	
Total Tax Revenue		\$ 182.25	\$ 911.25	\$ 203,411.25	
Waivers & Other Costs to the City		\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 182.25	\$ 911.25	\$ 203,411.25	
Staff Recommendation					
Last Use Public			Comm. Review Date		
Council Decision			Council Review Date		
Disposition Ord #			Ord Date	Page 222 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 045-200010
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Grassy Lot

Mailing Address 135 N. Union St

Property Location 1111 HALIFAX ST
Property Use CIP

Most Recent Sale Date 6/9/2005

Legal Reference 2005-2609

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 10,450

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features 0
Value

Land Value 13,500

Total Value 13,500

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

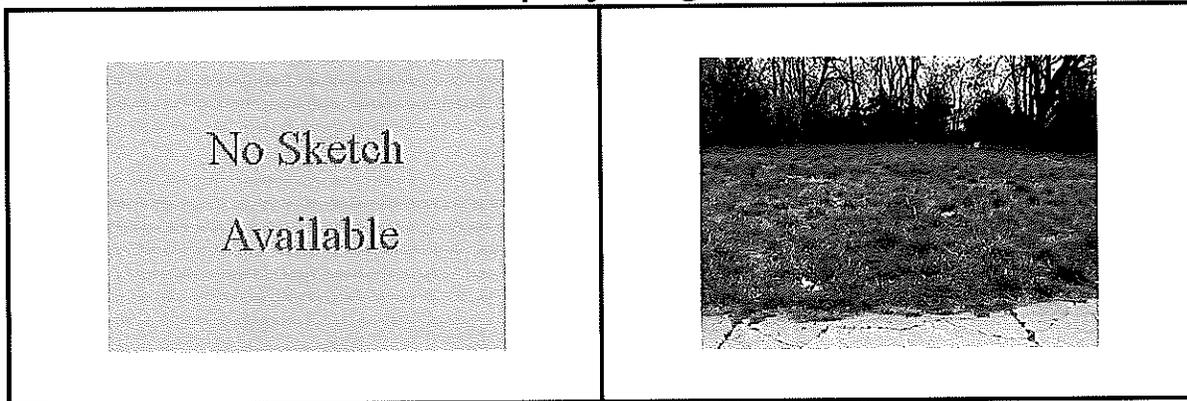
Legal Description

80.4 - 48 X 133 - 148

Narrative Description of Property

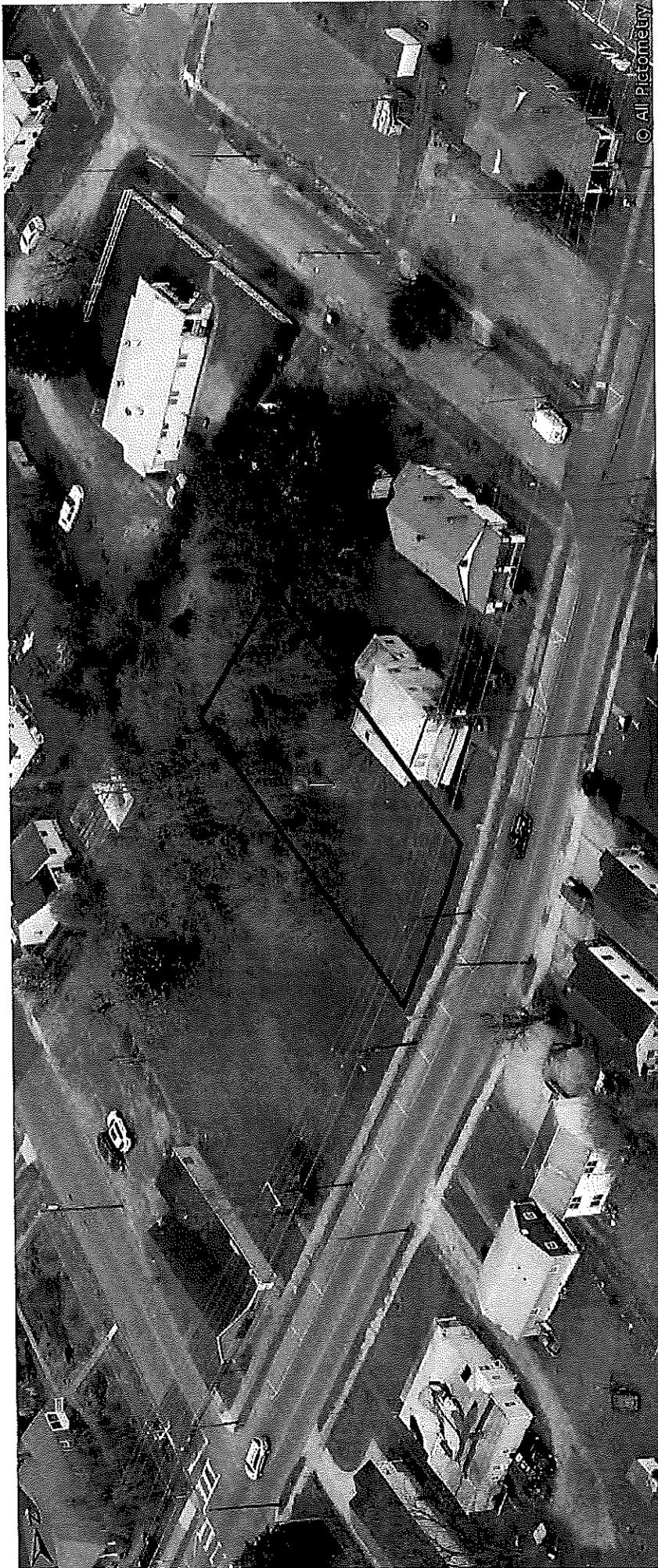
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1111 Halifax St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	1115 HALIFAX ST		
Parcel Number	045-200011	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 10,900.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (9,900.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Total Tax Revenue		\$ 147.15	\$ 735.75	\$ 203,235.75
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 147.15	\$ 735.75	\$ 203,235.75
Staff Recommendation				
Last Use Public				
Council Decision				
Disposition Ord #				
		Comm. Review Date		
		Council Review Date		
		Ord Date	Page 225 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 045-200011
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Grassy Lot
 Property Location 1115 HALIFAX ST
 Property Use CIP
 Most Recent Sale Date 6/9/2005
 Legal Reference 2005-2608
 Grantor
 Sale Price 10,450
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 10,900 Total Value 10,900

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

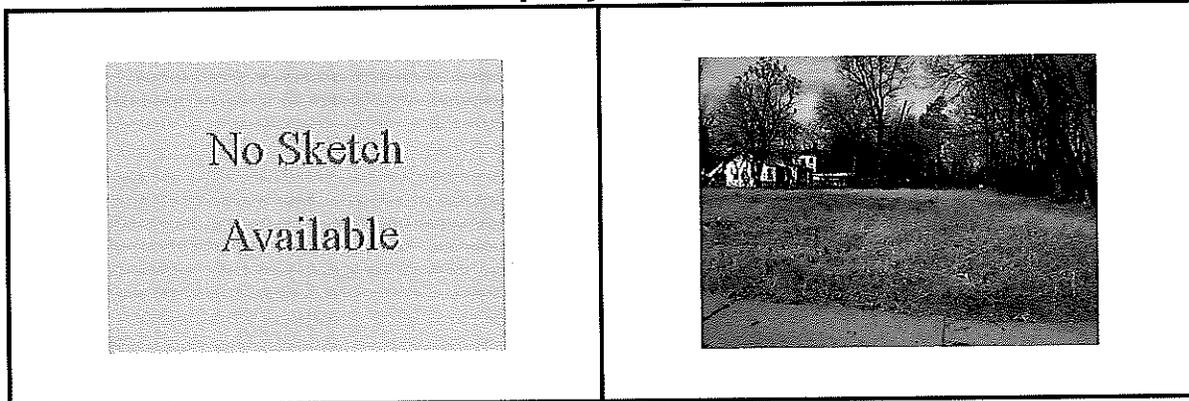
Legal Description

58 X 151

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1115 Halifax St



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	1119 HIGH ST		
Parcel Number	024-0800016	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance YES	
Zoning	R-3	Conformance YES	
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 6,600.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (5,600.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50
Total Tax Revenue		\$ 89.10	\$ 445.50	\$ 202,945.50
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 89.10	\$ 445.50	\$ 202,945.50

Staff Recommendation	
Last Use Public	Comm. Review Date
Council Decision	Council Review Date
Disposition Ord #	Ord Date

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 024-080016
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Account Number FOR SALE, Grassy Lot
 Property Location 1119 HIGH ST
 Property Use CIP
 Most Recent Sale Date 8/21/2003
 Legal Reference 2003-3698
 Grantor
 Sale Price 100
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 6,600 Total Value 6,600

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

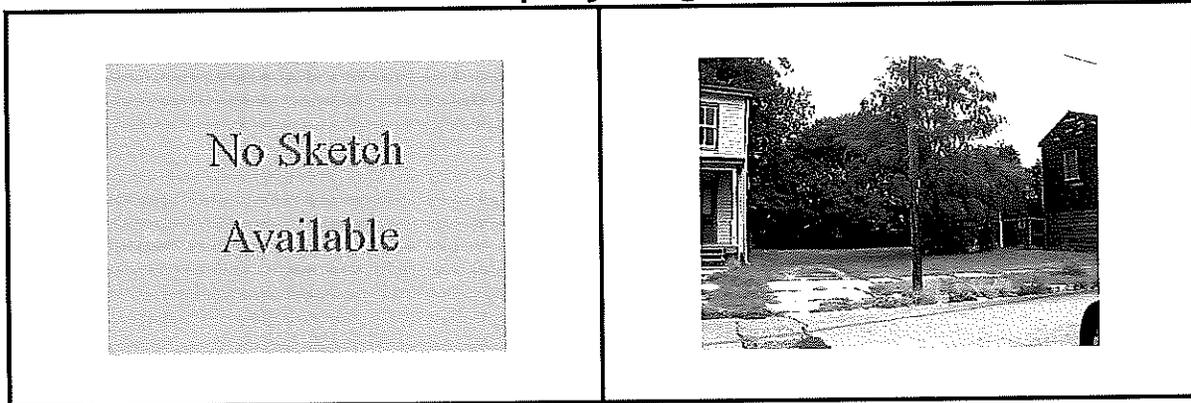
Legal Description

Pridesfield Lot 19 42.5X110

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1119 High St W



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	1230 HIGH ST		
Parcel Number	024-100005	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment					
Outstanding Obligations					
Proposed Land Use	RESIDENTIAL	Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES		
Zoning	R-3	Conformance	YES		
Enterprise Zone	NO				
Rehab/Abatement	NO				
New Construction	YES				
Historic District	NO				
Assessed Value	\$ 7,600.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (6,600.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 102.60	\$ 513.00	\$ 203,013.00	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 102.60	\$ 513.00	\$ 203,013.00	
Total Tax Revenue		\$ 102.60	\$ 513.00	\$ 203,013.00	
Waivers & Other Costs to the City		\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 102.60	\$ 513.00	\$ 203,013.00	
Staff Recommendation					
Last Use Public			Comm. Review Date		
Council Decision			Council Review Date		
Disposition Ord #			Ord Date	Page 231 of 472	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 024-100005
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Lot

Mailing Address 135 N. Union St

Property Location 1230 HIGH ST
Property Use CIP

Most Recent Sale Date 2/5/1997

Legal Reference 645-139

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 9,800

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 7,600

Total Value 7,600

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

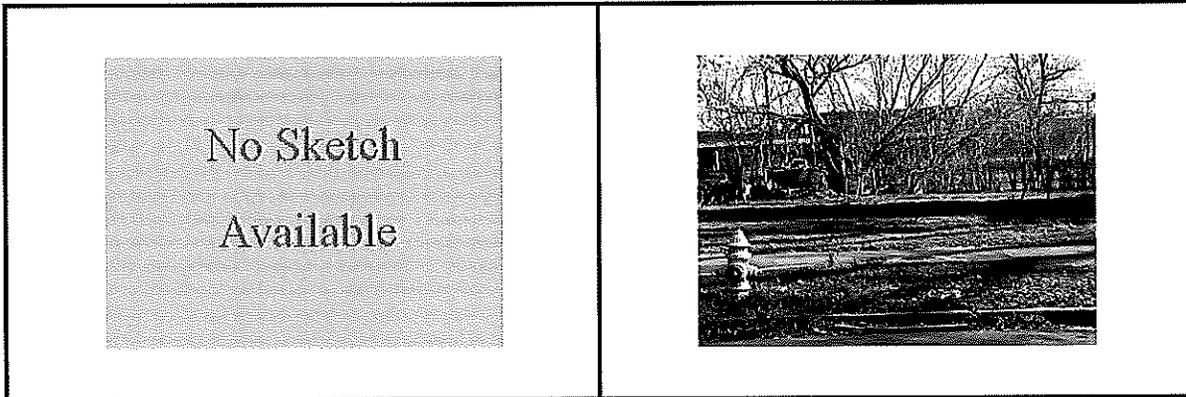
Legal Description

LTS 550-552 HABLSTON PLAT 50 X 107

Narrative Description of Property

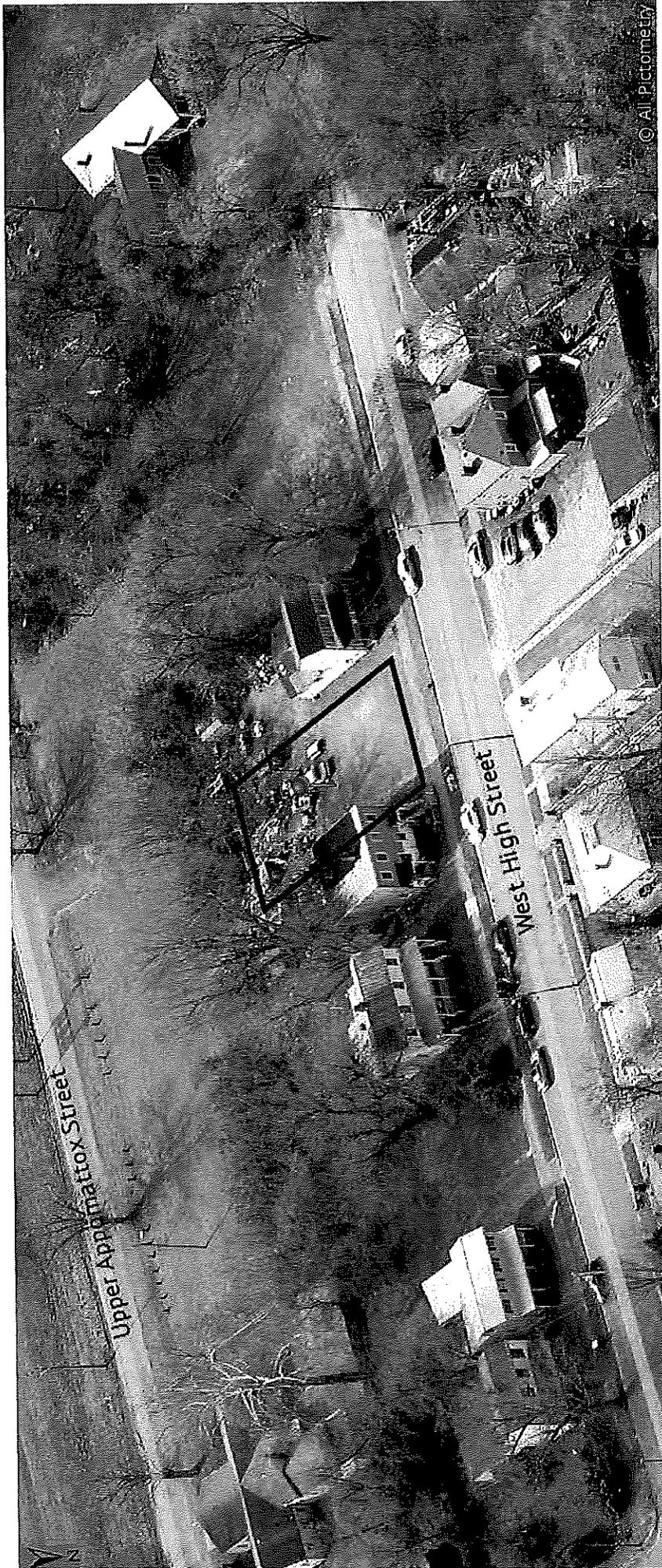
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1230 High St W



Proposal to Purchase City-Owned Property



Purchaser

Project Name	JC BYNUM CONSTRUCTION		
Property Address	741 BLICK ST		
Parcel Number	031-240016	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs		Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations			
Proposed Land Use	RESIDENTIAL	Yes	No
Comp Plan Land Use	RESIDENTIAL	Conformance	YES
Zoning	R-3	Conformance	YES
Enterprise Zone	NO		
Rehab/Abatement	NO		
New Construction	YES		
Historic District	NO		
Assessed Value	\$ 4,500.00	Appraised Value	\$ - Date

City Revenue from Sale	\$ (3,500.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 60.75	\$ 303.75	\$ 202,803.75
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 60.75	\$ 303.75	\$ 202,803.75
Total Tax Revenue		\$ 60.75	\$ 303.75	\$ 202,803.75
Waivers & Other Costs to the City		\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 60.75	\$ 303.75	\$ 202,803.75

Staff Recommendation			
Last Use Public		Comm. Review Date	
Council Decision		Council Review Date	
Disposition Ord #		Ord Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-240016
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Grassy Lot

Mailing Address 135 N. Union St

Property Location 741 BLICK ST

Property Use CIP

Most Recent Sale Date 1/11/2001

Legal Reference 652-123

City Petersburg

Grantor

Mailing State VA Zip 23803

Sale Price 2,400

ParcelZoning R-3

Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 4,500

Total Value 4,500

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

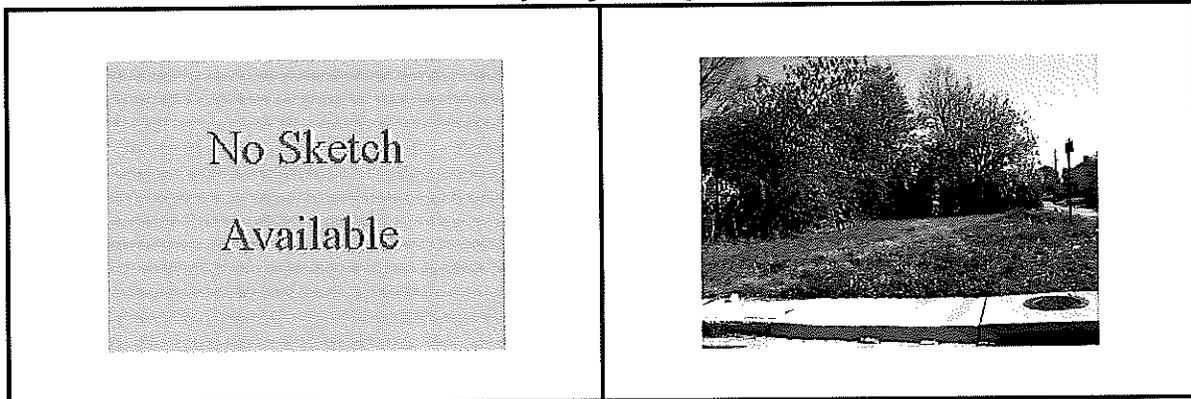
Legal Description

LT 12 PLAT MADE BY E HSPIERS 42-47X105.5-108.3

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

741 Blick St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	742 BLICK ST		
Parcel Number	031-230009	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment							
Outstanding Obligations							
Proposed Land Use	RESIDENTIAL		Yes	No			
Comp Plan Land Use	RESIDENTIAL	Conformance	YES				
Zoning	R-3	Conformance	YES				
Enterprise Zone	NO						
Rehab/Abatement	NO						
New Construction	YES						
Historic District	NO						
Assessed Value	\$ 9,000.00	Appraised Value	\$ -	Date			
City Revenue from Sale	\$ (8,000.00)						
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20			
Real Estate Tax	\$ -	\$ 121.50	\$ 607.50	\$ 203,107.50			
Personal Property Tax	\$ -	\$ -	\$ -	\$ -			
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -			
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -			
Business License Fee	\$ -	\$ -	\$ -	\$ -			
Lodging Tax	\$ -	\$ -	\$ -	\$ -			
Meals Tax	\$ -	\$ -	\$ -	\$ -			
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -			
Total	\$ -	\$ 121.50	\$ 607.50	\$ 203,107.50			
Total Tax Revenue		\$ 121.50	\$ 607.50	\$ 203,107.50			
Waivers & Other Costs to the City		\$ -	\$ -	\$ -			
City ROI (Revenue - Cost)	\$ -	\$ 121.50	\$ 607.50	\$ 203,107.50			
Staff Recommendation							
Last Use Public				Comm. Review Date			
Council Decision				Council Review Date			
Disposition Ord #				Ord Date	Page 237 of 472		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-230009
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG
 Mailing Address 135 N. Union St
 City Petersburg
 Mailing State VA Zip 23803
 Parcel Zoning R-3

Account Number FOR SALE, Grassy/W Hills Lot
 Property Location 742 BLICK ST
 Property Use CIP
 Most Recent Sale Date 11/22/2005
 Legal Reference 2005-5628
 Grantor
 Sale Price 7,500
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 9,000 Total Value 9,000

Building Description

Building Style NONE
 # of Living Units 0
 Year Built N/A
 Building Grade EXCELLENT
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 0
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover
 Siding
 Interior Walls N/A
 # of Bedrooms 0
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type NONE
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

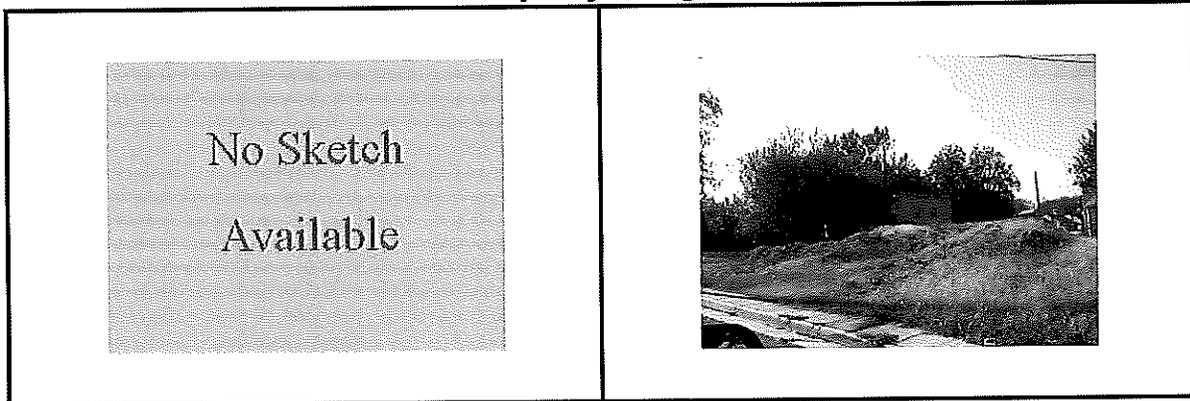
Legal Description

PARCEL TWO 76.9' X 98.5'

Narrative Description of Property

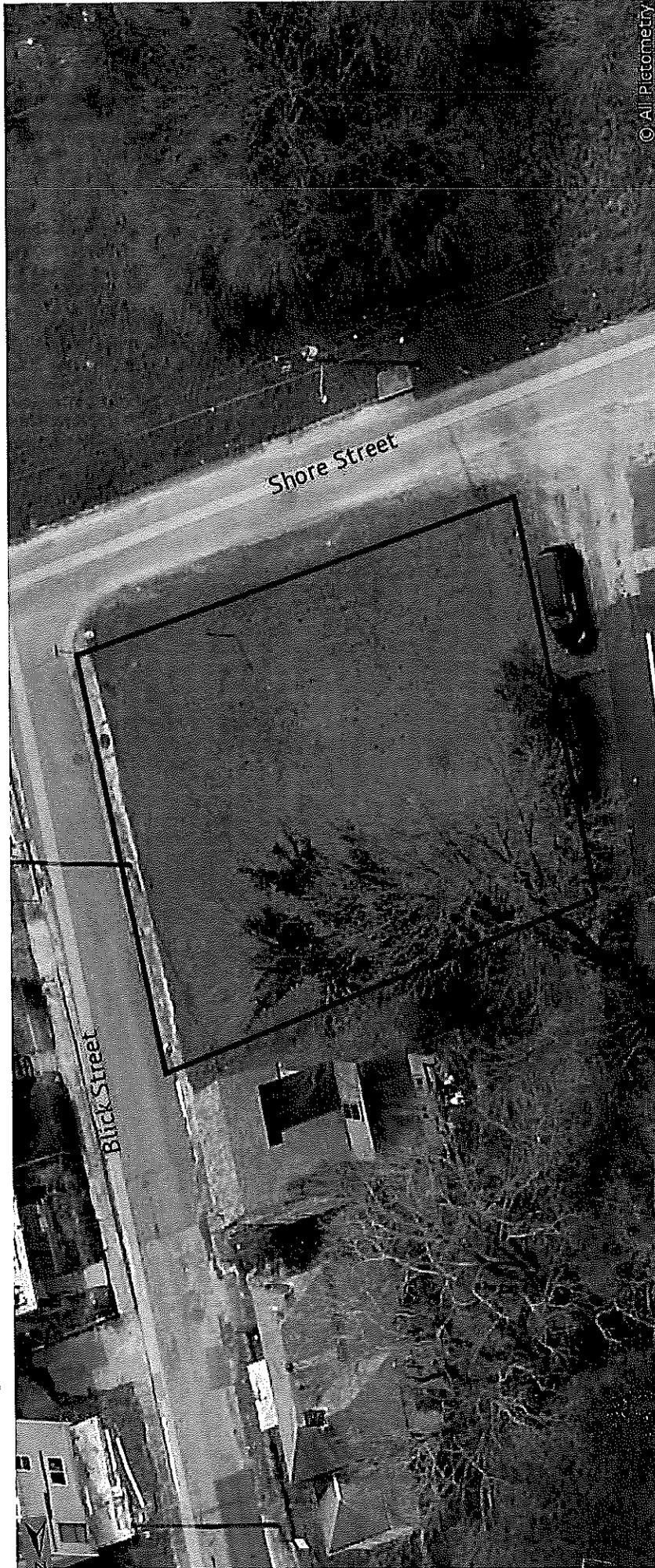
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

742 Blick St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	505 High St		
Parcel Number	010-170003	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	Sheila Bynum-Coleman		
Address	7639 Bull St Rd	Phone	
	N Chesterfield, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES		
Development Description	SINGLE FAMILIY HO ME AND SALE AT MARKET VALUE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date			Completion Date
Number of Projected Jobs	Temp/Const. Jobs	2	Permanent Jobs
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes			
Zoning	R-3	Conformance	Yes			
Enterprise Zone			NO			
Rehab/Abatement			NO			
New Construction			YES			
Historic District	No					
Assessed Value	\$ 2,500.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (1,500.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75		
Total Tax Revenue	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 33.75	\$ 168.75	\$ 202,668.75		
Staff Recommendation						
Last Use Public	Comm. Review Date					

505 High St



Property Record Card - Petersburg, VA

General Property Data

Parcel ID 010-170003
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Mailing Address 135 N. Union St

City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-3

Account Number FOR SALE, Neighborhood Park

Property Location 505 HIGH ST
Property Use Urban Vac
Most Recent Sale Date 12/18/2006
Legal Reference 2006-6470

Grantor
Sale Price 0
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 2,500

Total Value 2,500

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

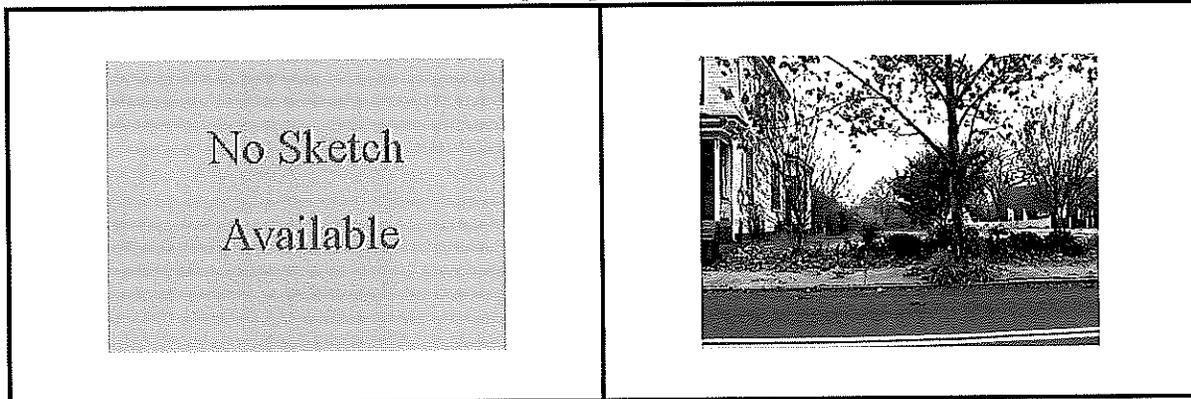
Legal Description

4.4 x 150

Narrative Description of Property

This property contains acres of land mainly classified as Urban Vac with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

Proposal to Purchase City-Owned Property



Purchaser	
Project Name	JC BYNUM CONSTRUCTION
Property Address	2761 BOYDTON PLANK RD
Parcel Number	072-030002
Year Constructed	
Project Developer	JC BYNUM CONSTRUCTION
Contact Name	Sheila Bynum-Coleman
Address	7639 Bull St Rd N Chesterfield, VA 23235
Email	
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES
Development Description	SINGLE FAMIILY HO ME AND SALE AT MARKET VALUE
Offered Purchase Price	\$1,000
Construction Costs	\$ -
Total Investment	\$ 1,000,000.00
Description of Financing (%)	
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE
Due Diligence Period (months)	190 DAYS
Construction Start Date	
Completion Date	
Number of Projected Jobs	Temp/Const. Jobs: 2
Average Wage	
Contingencies	

City Assessment

Outstanding Obligations				
Proposed Land Use	RESIDENTIAL	Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes	No
Zoning	R-3	Conformance	Yes	No
Enterprise Zone			NO	
Rehab/Abatement			NO	
New Construction			YES	
Historic District	No			
Assessed Value	\$ 16,300.00	Appraised Value	\$ -	Date
City Revenue from Sale	\$ (15,300.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 220.05	\$ 1,100.25	\$ 203,600.25
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 220.05	\$ 1,100.25	\$ 203,600.25
Total Tax Revenue	\$ -	\$ 220.05	\$ 1,100.25	\$ 203,600.25
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 220.05	\$ 1,100.25	\$ 203,600.25
Staff Recommendation				
Last Use Public				
	Comm. Review Date			

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 072-030002
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Mailing Address 135 N. Union St

City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-1

Account Number FOR SALE, Wooded Lot

Property Location 2761 BOYDTON PLANK RD
Property Use CIP

Most Recent Sale Date 10/28/2003
Legal Reference 2003-4731

Grantor
Sale Price 0
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features 0
Value

Land Value 16,300

Total Value 16,300

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

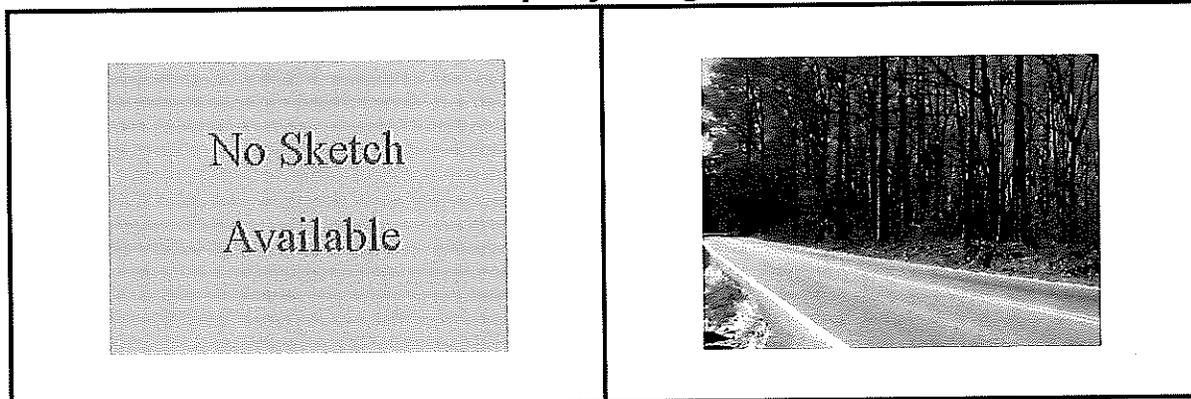
Legal Description

PT LTS 10 & 12 BK C DUNEDIN

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

2761 Boydton Plank RD



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	735 WILSON ST		
Parcel Number	031-2500038	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	Sheila Bynum-Coleman		
Address	7639 Bull St Rd	Phone	
	N Chesterfield, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES		
Development Description	SINGLE FAMIILY HO ME AND SALE AT MARKET VALUE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment

Outstanding Obligations					
Proposed Land Use	RESIDENTIAL		Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes		
Zoning	R-3	Conformance	Yes		
Enterprise Zone			NO		
Rehab/Abatement			NO		
New Construction			YES		
Historic District	No				
Assessed Value	\$ 15,600.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (14,600.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 210.60	\$ 1,053.00	\$ 203,553.00	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 210.60	\$ 1,053.00	\$ 203,553.00	
Total Tax Revenue	\$ -	\$ 210.60	\$ 1,053.00	\$ 203,553.00	
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 210.60	\$ 1,053.00	\$ 203,553.00	
Staff Recommendation					
Last Use Public					
	Comm. Review Date				

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 031-250038
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Mailing Address 135 N. Union St

City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-3

Account Number FOR SALE, Lot

Property Location 735 WILSON ST
Property Use CIP

Most Recent Sale Date 1/27/1999
Legal Reference 634-560

Grantor
Sale Price 31,300
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features 0
Value

Land Value 15,600

Total Value 15,600

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

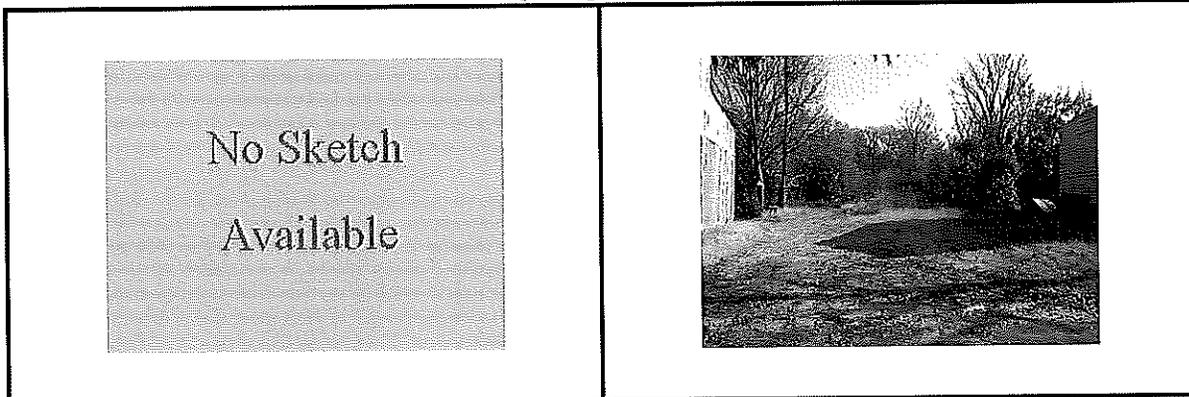
Legal Description

LTS 14-18 O'FARRELL

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

735 Wilson St



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	1114 WYTYE ST		
Parcel Number	024-290010	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	Sheila Bynum-Coleman		
Address	7639 Bull St Rd	Phone	
	N Chesterfield, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES		
Development Description	SINGLE FAMIILY HO ME AND SALE AT MARKET VALUE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL			Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes			
Zoning	R-3	Conformance	Yes			
Enterprise Zone			NO			
Rehab/Abatement			NO			
New Construction			YES			
Historic District	No					
Assessed Value	\$ 44,700.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (43,700.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 603.45	\$ 3,017.25	\$ 205,517.25		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 603.45	\$ 3,017.25	\$ 205,517.25		
Total Tax Revenue	\$ -	\$ 603.45	\$ 3,017.25	\$ 205,517.25		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 603.45	\$ 3,017.25	\$ 205,517.25		
Staff Recommendation						
Last Use Public	Comm. Review Date					

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 024-290010
 Prior Parcel ID --
 Property Owner BROWDER FRANCES L

Account Number

Mailing Address 1144 W WYTHE ST

Property Location 1144 WYTHE ST
 Property Use Urban Res
 Most Recent Sale Date 10/8/1970
 Legal Reference 303-566

City PETERSBURG
 Mailing State VA Zip 23803
 ParcelZoning R-3

Grantor
 Sale Price 6,300
 Land Area acres

Current Property Assessment

Card 1 Value Building Value 37,100 Xtra Features Value 0 Land Value 7,600 Total Value 44,700

Building Description

Building Style 2STORY
 # of Living Units 1
 Year Built 1890
 Building Grade FAIR
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 7
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover COMPOSI
 Siding VINYL/ALUM
 Interior Walls DRYWALL
 # of Bedrooms 3
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type WOOD
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

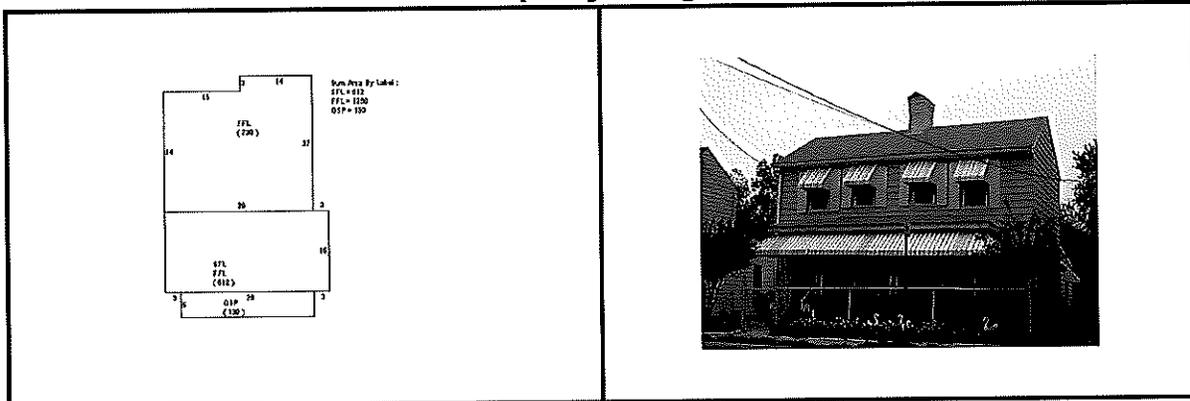
Legal Description

PT LOT 72 WELLS PLAT51.3-35.4X155-151.8

Narrative Description of Property

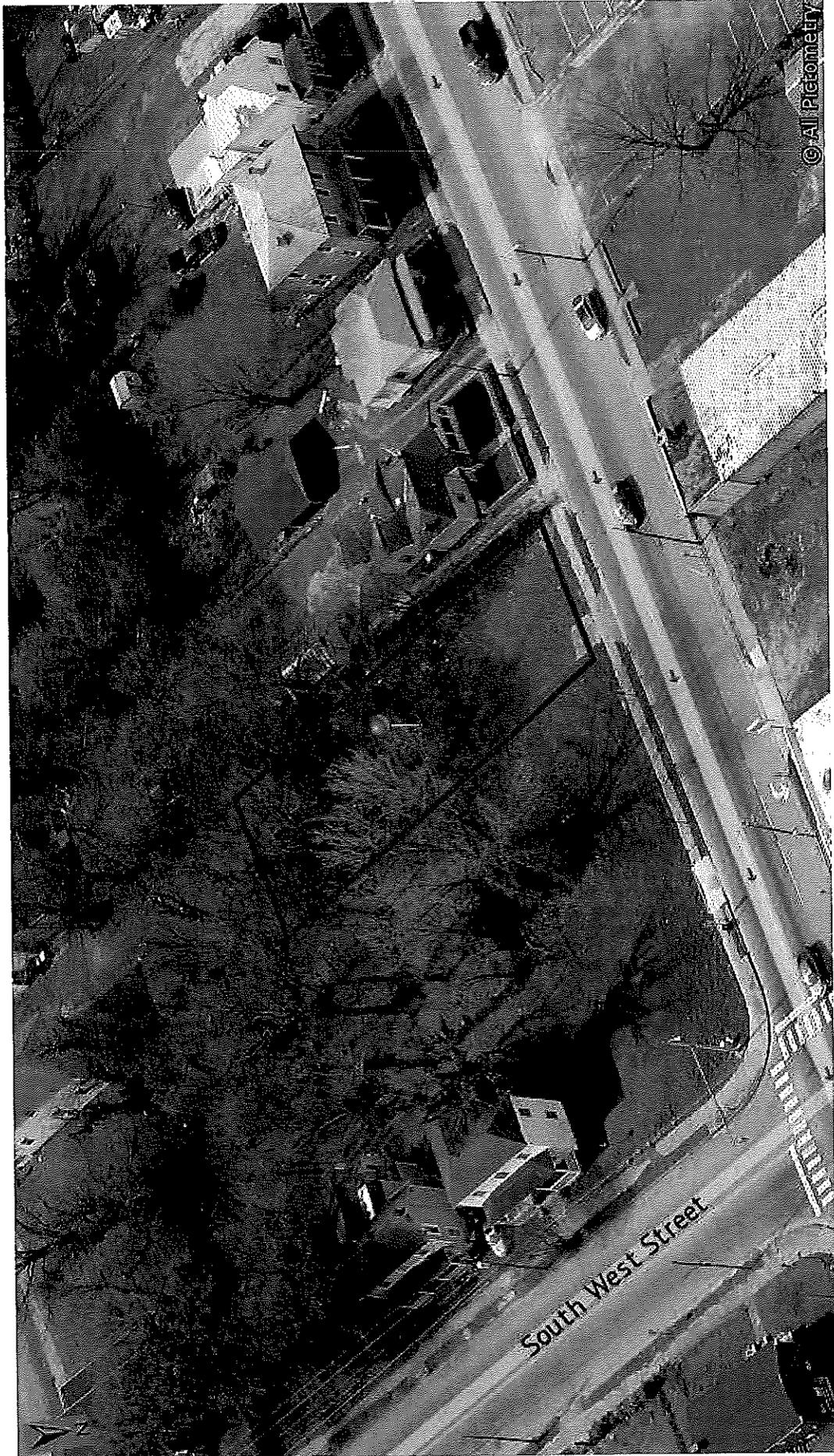
This property contains acres of land mainly classified as Urban Res with a(n) 2STORY style building, built about 1890 , having VINYL/ALUM exterior and COMPOSI roof cover, with 1 unit(s), 7 room(s), 3 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1114 Wythe St W



Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	1805 WALTON ST		
Parcel Number	041-100003	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	Sheila Bynum-Coleman		
Address	7639 Bull St Rd	Phone	
	N Chesterfield, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES		
Development Description	SINGLE FAMIILY HO ME AND SALE AT MARKET VALUE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL			Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes			
Zoning	R-3	Conformance	Yes			
Enterprise Zone			NO			
Rehab/Abatement			NO			
New Construction			YES			
Historic District	No					
Assessed Value	\$ 28,300.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (27,300.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 382.05	\$ 1,910.25	\$ 204,410.25		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 382.05	\$ 1,910.25	\$ 204,410.25		
Total Tax Revenue	\$ -	\$ 382.05	\$ 1,910.25	\$ 204,410.25		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 382.05	\$ 1,910.25	\$ 204,410.25		
Staff Recommendation						
Last Use Public	Comm. Review Date					

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 041-100003
Prior Parcel ID --
Property Owner CITY OF PETERSBURG
Mailing Address 135 N. Union St
City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-1

Account Number FOR SALE, Wooded Lot
Property Location 1805 WALTON ST
Property Use CIP
Most Recent Sale Date 9/11/1997
Legal Reference 580-166
Grantor
Sale Price 2,875
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 28,300 Total Value 28,300

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

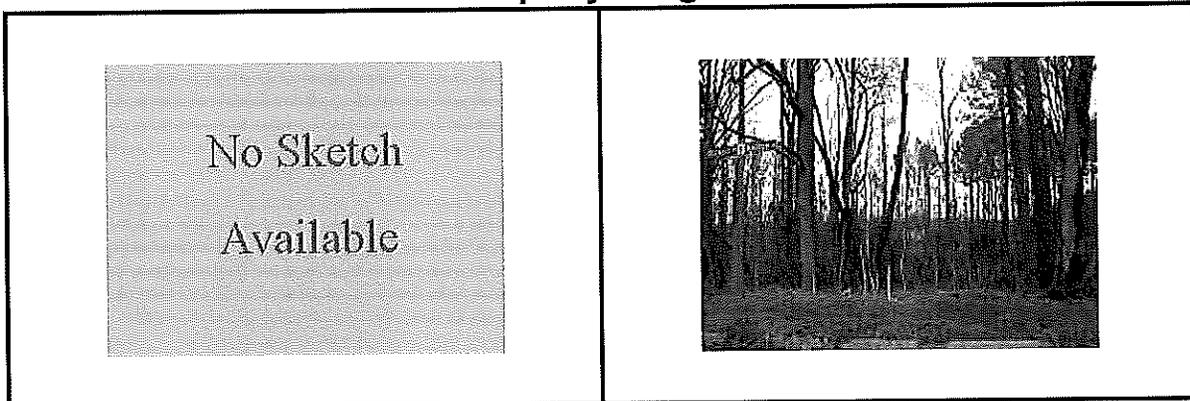
Legal Description

LTS 11-12 BK C & PARCEL B PINEHILL

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1805 Walton St



Proposal to Purchase City-Owned Property



Purchaser	
Project Name	JC BYNUM CONSTRUCTION
Property Address	1600 SHIRLEY AVENUE
Parcel Number	041-100003
Year Constructed	
Project Developer	JC BYNUM CONSTRUCTION
Contact Name	Sheila Bynum-Coleman
Address	7639 Bull St Rd N Chesterfield, VA 23235
Email	
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES
Development Description	SINGLE FAMILIY HO ME AND SALE AT MARKET VALUE
Offered Purchase Price	\$1,000
Construction Costs	\$ -
Total Investment	\$ 1,000,000.00
Description of Financing (%)	
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE
Due Diligence Period (months)	190 DAYS
Construction Start Date	
Completion Date	
Number of Projected Jobs	Temp/Const. Jobs <input type="text" value="2"/> Permanent Jobs <input type="text"/>
Average Wage	<input type="text"/>
Contingencies	

City Assessment

Outstanding Obligations				
Proposed Land Use	RESIDENTIAL	Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	<input type="text" value="Ye"/>	<input type="text"/>
Zoning	R-3	Conformance	<input type="text" value="Yes"/>	<input type="text"/>
Enterprise Zone			<input type="text" value="NO"/>	<input type="text"/>
Rehab/Abatement			<input type="text" value="NO"/>	<input type="text"/>
New Construction			<input type="text" value="YES"/>	<input type="text"/>
Historic District	No			
Assessed Value	\$ 70,600.00	Appraised Value	\$ -	Date
City Revenue from Sale	\$ (69,600.00)			
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20
Real Estate Tax	\$ -	\$ 953.10	\$ 4,765.50	\$ 207,265.50
Personal Property Tax	\$ -	\$ -	\$ -	\$ -
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -
Business License Fee	\$ -	\$ -	\$ -	\$ -
Lodging Tax	\$ -	\$ -	\$ -	\$ -
Meals Tax	\$ -	\$ -	\$ -	\$ -
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -
Total	\$ -	\$ 953.10	\$ 4,765.50	\$ 207,265.50
Total Tax Revenue	\$ -	\$ 953.10	\$ 4,765.50	\$ 207,265.50
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -
City ROI (Revenue - Cost)	\$ -	\$ 953.10	\$ 4,765.50	\$ 207,265.50
Staff Recommendation				
Last Use Public				
			Comm. Review Date	

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 053-040002
Prior Parcel ID --
Property Owner CITY OF PETERSBURG

Mailing Address 135 N. Union St

City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-1

Account Number FOR SALE, Wooded Lot

Property Location 1600 SHIRLEY AVE
Property Use CIP

Most Recent Sale Date 12:00:00 AM
Legal Reference 0-0

Grantor
Sale Price 0
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0

Xtra Features Value 0

Land Value 70,600

Total Value 70,600

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

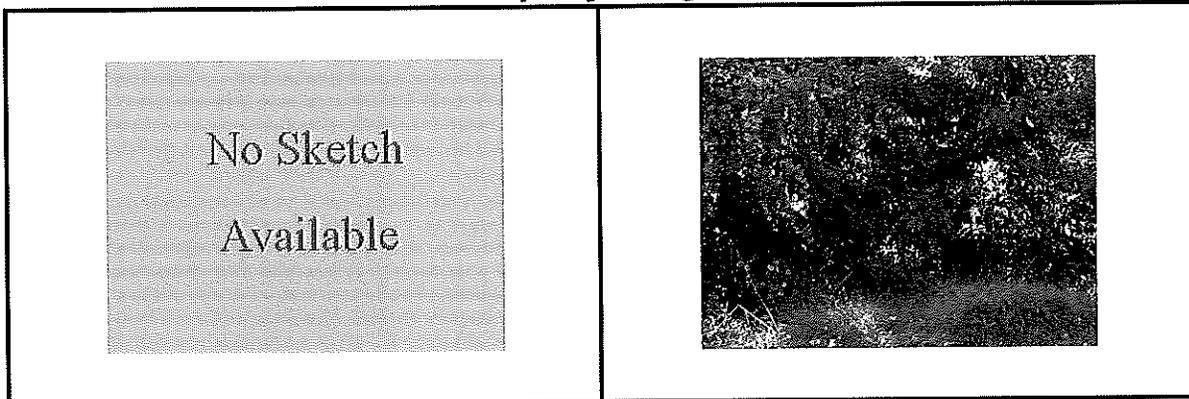
Legal Description

7.68 ACRES

Narrative Description of Property

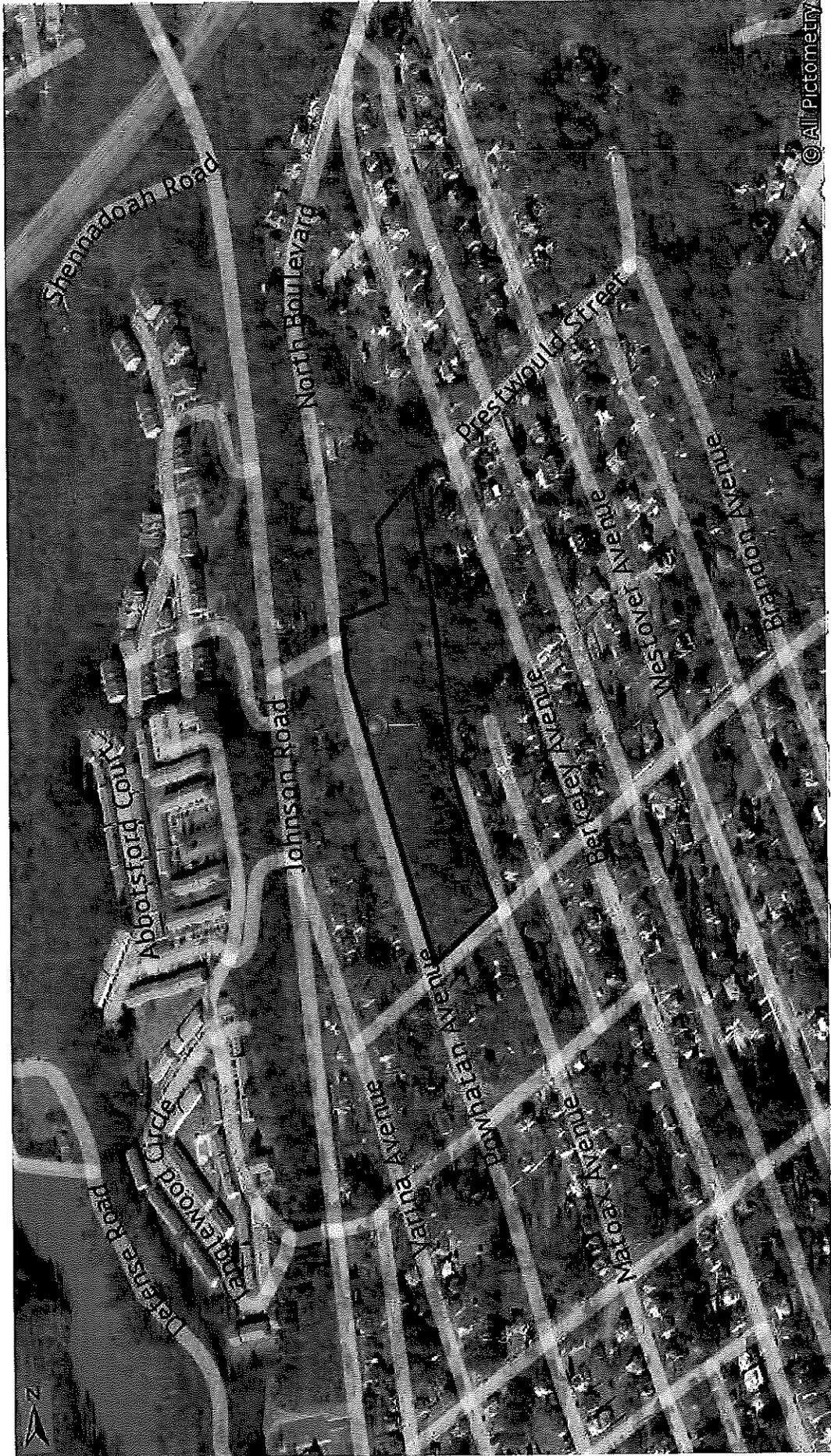
This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

1600 Shirley Avenue



Proposal to Purchase City-Owned Property



Purchaser	
Project Name	JC BYNUM CONSTRUCTION
Property Address	323 WEST ST
Parcel Number	029-120016
Year Constructed	
Project Developer	JC BYNUM CONSTRUCTION
Contact Name	Sheila Bynum-Coleman
Address	7639 Bull St Rd N Chesterfield, VA 23235
Email	
Experience/Qualifications	EXTENSIVE EXPERIENCE IN CONSTRUCTING HOMES
Development Description	SINGLE FAMILLY HO ME AND SALE AT MARKET VALUE
Offered Purchase Price	\$1,000
Construction Costs	\$ -
Total Investment	\$ 1,000,000.00
Description of Financing (%)	
Community Benefit	ADDIING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE
Due Diligence Period (months)	190 DAYS
Construction Start Date	
Completion Date	
Number of Projected Jobs	Temp/Const. Jobs: 2
Average Wage	
Contingencies	

City Assessment

Outstanding Obligations					
Proposed Land Use	RESIDENTIAL	Conformance	Yes	No	
Comp Plan Land Use	RESIDENTIAL	Conformance	Yes		
Zoning	R-3	Conformance	Yes		
Enterprise Zone			NO		
Rehab/Abatement			NO		
New Construction			YES		
Historic District	No				
Assessed Value	\$ 7,400.00	Appraised Value	\$ -	Date	
City Revenue from Sale	\$ (6,400.00)				
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20	
Real Estate Tax	\$ -	\$ 99.90	\$ 499.50	\$ 202,999.50	
Personal Property Tax	\$ -	\$ -	\$ -	\$ -	
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -	
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -	
Business License Fee	\$ -	\$ -	\$ -	\$ -	
Lodging Tax	\$ -	\$ -	\$ -	\$ -	
Meals Tax	\$ -	\$ -	\$ -	\$ -	
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -	
Total	\$ -	\$ 99.90	\$ 499.50	\$ 202,999.50	
Total Tax Revenue	\$ -	\$ 99.90	\$ 499.50	\$ 202,999.50	
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -	
City ROI (Revenue - Cost)	\$ -	\$ 99.90	\$ 499.50	\$ 202,999.50	
Staff Recommendation					
Last Use Public			Comm. Review Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 029-120016
Prior Parcel ID --
Property Owner CITY OF PETERSBURG
Mailing Address 135 N. Union St
City Petersburg
Mailing State VA Zip 23803
ParcelZoning R-3

Account Number FOR SALE, Lot
Property Location 323 WEST ST
Property Use CIP
Most Recent Sale Date 11/3/1976
Legal Reference 637-181
Grantor
Sale Price 95,000
Land Area acres

Current Property Assessment

Card 1 Value Building Value 0 Xtra Features Value 0 Land Value 7,400 Total Value 7,400

Building Description

Building Style NONE
of Living Units 0
Year Built N/A
Building Grade EXCELLENT
Building Condition N/A
Finished Area (SF)
Number Rooms 0
of 3/4 Baths

Foundation Type
Frame Type
Roof Structure
Roof Cover
Siding
Interior Walls N/A
of Bedrooms 0
of 1/2 Baths

Flooring Type CARPET
Basement Floor N/A
Heating Type NONE
Heating Fuel N/A
Air Conditioning
of Bsmt Garages 0
of Full Baths
of Other Fixtures

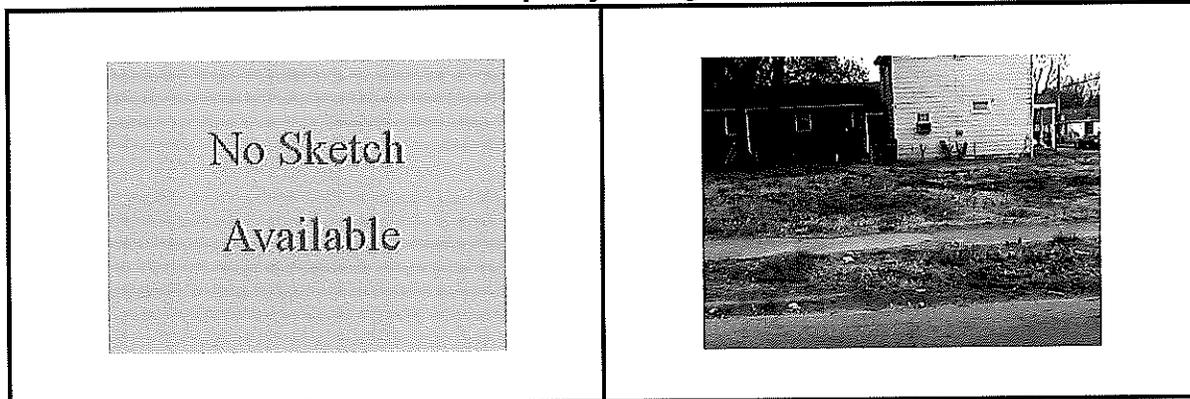
Legal Description

50X87

Narrative Description of Property

This property contains acres of land mainly classified as CIP with a(n) NONE style building, built about N/A , having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

323 West St W



03/18/2020

Proposal to Purchase City-Owned Property



Purchaser			
Project Name	JC BYNUM CONSTRUCTION		
Property Address	357 UNIVERSITY BLVD		
Parcel Number	010-150029	Acreage	Bldg SF
Year Constructed			
Project Developer	JC BYNUM CONSTRUCTION		
Contact Name	SHEILA BYNUM-COLEMAN		
Address	7639 HULL ST ROAD	Phone	
	N CHESTERFIELD, VA 23235		
Email			
Experience/Qualifications	EXTENSIVE EXPERIENCE CONSTRUCTING HOMES		
Development Description	SINGLE FAMILY HOMES AND SALE AT MARKET RATE		
Offered Purchase Price	\$1,000	Construction Costs	\$ -
		Total Investment	\$ 1,000,000.00
Description of Financing (%)			
Community Benefit	ADDING CITY OWNED PROPERTY BACK TO THE TAX ROLE AND ADDING NEW RESIDENCE		
Due Diligence Period (months)	190 DAYS		
Construction Start Date		Completion Date	
Number of Projected Jobs	Temp/Const. Jobs	Permanent Jobs	
Average Wage			
Contingencies			

City Assessment						
Outstanding Obligations						
Proposed Land Use	RESIDENTIAL		Yes	No		
Comp Plan Land Use	RESIDENTIAL	Conformance	YES			
Zoning	R-3	Conformance	YES			
Enterprise Zone	NO					
Rehab/Abatement	YES					
New Construction	NO					
Historic District	YES					
Assessed Value	\$ 70,500.00	Appraised Value	\$ -	Date		
City Revenue from Sale	\$ (69,500.00)					
Projected Tax Revenue	Abatement	Year 1	Year 5	Year 20		
Real Estate Tax	\$ -	\$ 951.75	\$ 4,758.75	\$ 207,258.75		
Personal Property Tax	\$ -	\$ -	\$ -	\$ -		
Machinery and Tools Tax	\$ -	\$ -	\$ -	\$ -		
Sales and Use Tax	\$ -	\$ -	\$ -	\$ -		
Business License Fee	\$ -	\$ -	\$ -	\$ -		
Lodging Tax	\$ -	\$ -	\$ -	\$ -		
Meals Tax	\$ -	\$ -	\$ -	\$ -		
Other Taxes or Fees	\$ -	\$ -	\$ -	\$ -		
Total	\$ -	\$ 951.75	\$ 4,758.75	\$ 207,258.75		
Total Tax Revenue	\$ -	\$ 951.75	\$ 4,758.75	\$ 207,258.75		
Waivers & Other Costs to the City	\$ -	\$ -	\$ -	\$ -		
City ROI (Revenue - Cost)	\$ -	\$ 951.75	\$ 4,758.75	\$ 207,258.75		
Staff Recommendation						
Last Use Public				Comm. Review Date		
Council Decision				Council Review Date		
Disposition Ord #				Ord Date		

Property Record Card - Petersburg, VA

General Property Data

Parcel ID 010-150029
 Prior Parcel ID --
 Property Owner CITY OF PETERSBURG

Account Number FOR SALE, Lot W Vacant BLDG

Mailing Address 135 N. Union St

Property Location 357 UNIVERSITY BLVD
 Property Use Urban Vac

City Petersburg
 Mailing State VA Zip 23803
 ParcelZoning R-3

Most Recent Sale Date 5/12/2016
 Legal Reference 2016-1176
 Grantor BLANDELORES
 Sale Price 40,000
 Land Area acres

Current Property Assessment

Card 1 Value	Building Value 55,400	Xtra Features Value 0	Land Value 15,100	Total Value 70,500
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Building Description

Building Style 2STORY
 # of Living Units 1
 Year Built 1901
 Building Grade AVERAGE
 Building Condition N/A
 Finished Area (SF)
 Number Rooms 10
 # of 3/4 Baths

Foundation Type
 Frame Type
 Roof Structure
 Roof Cover COMPOSI
 Siding VINYL/ALUM
 Interior Walls DRYWALL
 # of Bedrooms 4
 # of 1/2 Baths

Flooring Type CARPET
 Basement Floor N/A
 Heating Type WOOD
 Heating Fuel N/A
 Air Conditioning
 # of Bsmt Garages 0
 # of Full Baths
 # of Other Fixtures

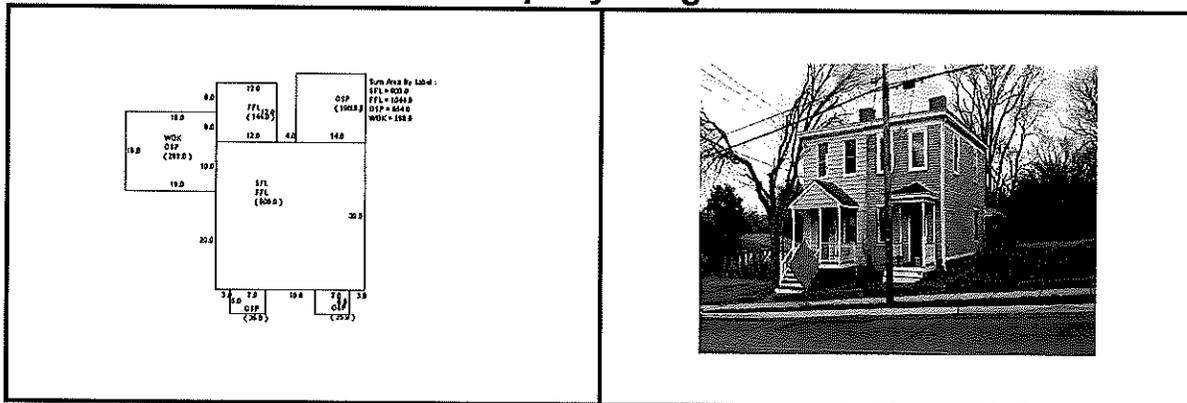
Legal Description

LT JTITUS ESTATE PLAT

Narrative Description of Property

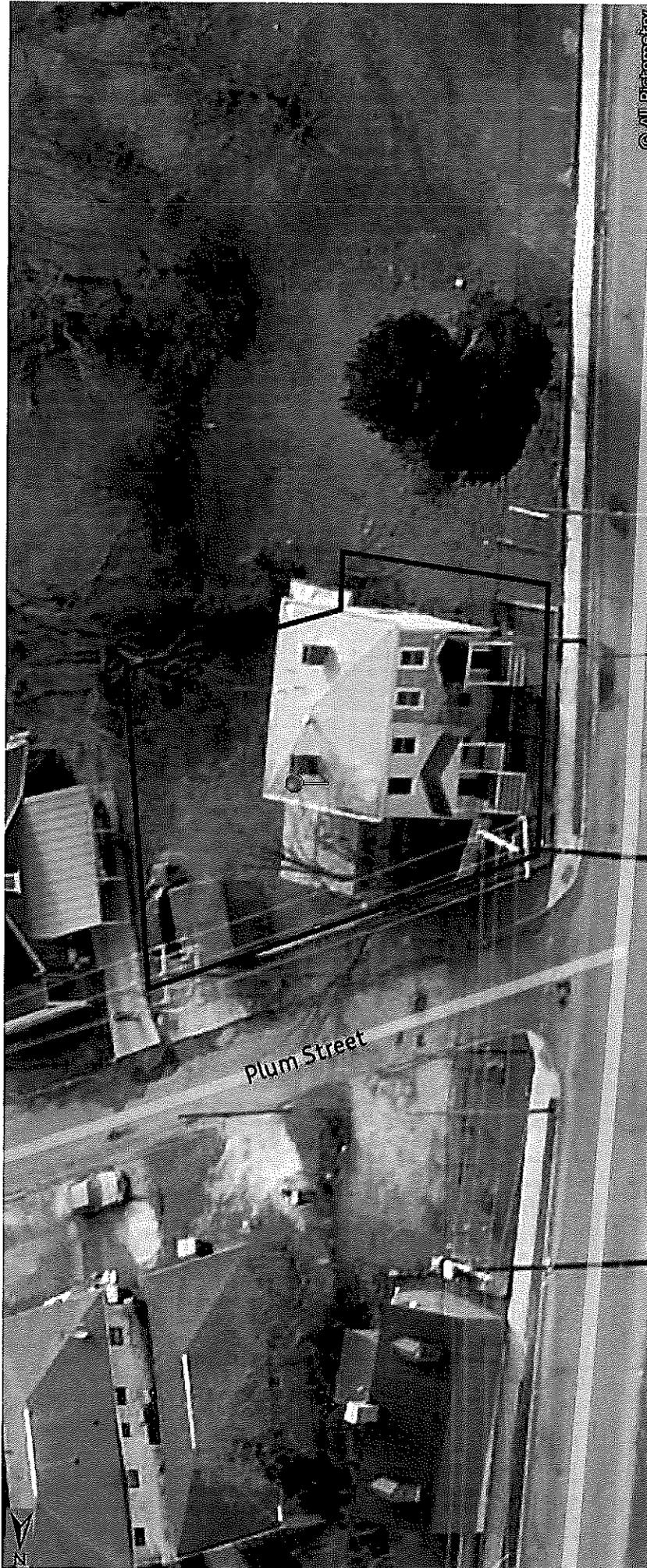
This property contains acres of land mainly classified as Urban Vac with a(n) 2STORY style building, built about 1901, having VINYL/ALUM exterior and COMPOSI roof cover, with 1 unit(s), 10 room(s), 4 bedroom(s), bath(s), half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

357 University Blvd



ORDINANCE

This is an Ordinance Authorizing the City Manager to execute a Purchase Agreement toward the Sale of City-owned property at 105 Burch St N, 1111 Halifax St, 1115 Halifax St, 1230 High St W, 201 Virginia Ave, 806 Washington St E, 1157 Washington St W, 716 Wythe St E, 715 Wythe St E, 851 Bank St E, 741 Blick St, 109 Burch St N, 113 Burch St N, 115 Burch St N, 751 Jones St S, 215 Jones St S, 206 Jones St S, 505 High St, 650 Lawrence St, 9 Ross Ct, 12 Ross Ct, 4 Ross Ct, 6 Ross Ct, 734 Washington St E, 1119 High St W, 505 High St ,723-25 Harding St, 615 Harding St, 742 Blick St, 857 E Bank St, 2761 Boydton Plank Rd, 735 Wilson St, 1114 Wythe St W, 323 West St S, 1805 Walton St, 1600 Shirley Ave, and

WHEREAS, the City of Petersburg has received a proposal from JC Bynum Construction to purchase the City-owned property at 105 Burch St N, 1111 Halifax St, 1115 Halifax St, 1230 High St W, 201 Virginia Ave, 806 Washington St E, 1157 Washington St W, 716 Wythe St E, 715 Wythe St E, 851 Bank St E, 741 Blick St, 109 Burch St N, 113 Burch St N, 115 Burch St N, 751 Jones St S, 215 Jones St S, 206 Jones St S, 505 High St, 650 Lawrence St, 9 Ross Ct, 12 Ross Ct, 4 Ross Ct, 6 Ross Ct, 734 Washington St E, 1119 High St W, 505 High St ,723-25 Harding St, 615 Harding St, 742 Blick St, 857 E Bank St, 2761 Boydton Plank Rd, 735 Wilson St, 1114 Wythe St W, 323 West St S, 1805 Walton St, 1600 Shirley Ave., to develop residential houses to sale at market value; and

WHEREAS, the Department of Economic Development is recommending the denial of JC Bynum's requests based on noncompliance with the Guidelines for the Disposition of City Real Estate Property that were adopted by the City Council on December 8, 2020. Staff further bases the recommendation for denial on the lack of progress on the development of the previously acquired twelve (12) parcels; and

WHEREAS, the potential benefits to the City include infill development, population growth, and increased tax base; and

WHEREAS, in accordance with applicable legal requirements, a public hearing was held prior to approving and authorizing the sale of City-owned property.

NOW THEREFORE BE IT ORDAINED, that the City Council of the City of Petersburg hereby authorizes the City Manager to execute a Purchase Agreement with JC Bynum Construction toward the Sale and development of City-owned property at 105 Burch St N, 1111 Halifax St, 1115 Halifax St, 1230 High St W, 201 Virginia Ave, 806 Washington St E, 1157 Washington St W, 716 Wythe St E, 715 Wythe St E, 851 Bank St E, 741 Blick St, 109 Burch St N, 113 Burch St N, 115 Burch St N, 751 Jones St S, 215 Jones St S, 206 Jones St S, 505 High St, 650 Lawrence St, 9 Ross Ct, 12 Ross Ct, 4 Ross Ct, 6 Ross Ct, 734 Washington St E, 1119 High St W, 505 High St ,723-25 Harding St, 615 Harding St, 742 Blick St, 857 E Bank St, 2761 Boydton Plank Rd, 735 Wilson St, 1114 Wythe St W, 323 West St S, 1805 Walton St, 1600 Shirley Ave.



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021
TO: The Honorable Mayor and Members of City Council
THROUGH: Kenneth Miller, Interim City Manager
FROM: Treska Wilson-Smith , Council Member
RE: **Consideration of process and rules for Boards and Commissions.**

PURPOSE:

REASON:

RECOMMENDATION: Recommend that City Council approve the process and rules for boards and commissions.

BACKGROUND:

COST TO CITY:

BUDGETED ITEM:

REVENUE TO CITY:

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES:

AFFECTED AGENCIES:

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION:

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. The Process Boards and Commission - DRAFT

The Process:

- Applications are accepted each month.
- Notice is sent to members prior to expiration date to see if members wish to be reappointed or if they wish to not continue to be on board once term expires.
- The appointees are given information and training once the chairperson has been notified of their appointment.

Rules: (Some boards and commissions have rules set in place and these rules will NOT override the rules in place.)

- Appointed members may resign with a letter sent to the chairman of that board and to the Clerk of Council.
- If a member has three unexcused absences, then a letter needs to be sent to that member that they are being removed from that board from the chairman and a copy needs to be sent to the Clerk of Council.
- A resume and updated application must be on file with the Clerk of Council and a copy sent to the board or commission director.
- All members are to participate in all meetings and activities associated with that board and commission.
- Daily reports are to be sent to the Clerk of Council for distribution to City Council Members. (These include the boards and commissions that are associated within the City of Petersburg.)

Boards that are within the City of Petersburg Government:

Our boards and commissions are divided into 2 different categories. Section A are the boards and commissions that council has some control of and Section B, are commissions and boards that council does not have any control of.

A:

	Name of Board & Commission	Who Serves on the Board	Citizen and/or City Administration
1	Architectural Review Board	7 members (1 being a licensed architect)	Citizens

2	Community Development Block Grant Advisory Board (CDBG)	9 members, 1 per ward and 2 at large	Citizens
3	Economic Development Authority	7 members	Citizens
4	Social Services Advisory Board	5 members	Citizens
5	Planning Commission	9 members, 1 per ward and 2 at large	Citizens
6	Anti-Poverty Commission	7 Members	Citizens
7	Crater District Area Agency on Aging	1 Member from Petersburg	Citizen
8	CCRA	9 members, 1 per ward and 2 at large (we had voted some time ago to change the Citizenry Committee to the CCRA, if they so choose to do so.	
9	Youth Services Citizen Board	A youth from each ward and an adult from each ward.	Director of Parks and Recreation
10	PART	1 Member from Petersburg	Citizen
11	African-American Studies Commission	7 members comprised of persons who are interested in the African-American history of Petersburg	

B:

		Name of Board or Commission	Who Serves on This Board	
1		Virginia Gateway Region	Mayor	Mayor
2		Appomattox River Water Authority	2 Members of City Staff (City Manager and Alternate)	City Administration
3		Crater Planning District Commission	Mayor	Mayor
4		Workforce Development Board	Mayor	Mayor
5		Crater Youth Care Commission	2 members (City Manager and one citizen)	
6		District 19 Community Services Board	3 members	Director of Social Services
7		Economic Development Authority	7 members	Economic Development Director
8		John Tyler Community College Board of Directories	2 members	
9		Planning Commission		Planning Director
10		Redevelopment & Housing Authority	7 members (all at-large)	
11		MPO Transit Committee	Mayor, Director of Transit	Mayor and City Administration

Meetings:

- Meetings take place on a set date, time and place unless otherwise changed or noted:

Attendance:

- Attendance is expected at all meetings. A volunteer can miss up to three meetings per year before receiving a letter of intent to the commission or board.
- It is up to the commission or board to decide as to whether or not the volunteer will remain on the board or commission.

Meetings:

- All meetings must be recorded via attendance and copies shared with clerk of council to distribute to City Council Members.
- The Director of the City of Petersburg Boards and Commission will be in charge with posting all meeting agenda and minutes online. This information can be sent to IT to have it posted to the specified area.
- All boards/commissions must give a report to council at least twice a year, keeping council and the public informed as to their accomplishments.



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager

FROM: India Adams-Jacobs

RE: **A resolution of the City of Petersburg City Council in support of HB1800, Item 114 #11h Infrastructure upgrades for the Petersburg Pharmaceutical Park**

PURPOSE: To provide formal support for of HB1800, Item 114 #11h Infrastructure upgrades for the Petersburg Pharmaceutical Park via City Council resolution.

REASON: If passed by Council, this resolution will be shared with our state delegation for additional support as additional support for this much-needed infrastructure funding.

RECOMMENDATION: Staff recommends approval of resolution at the next regular City Council meeting.

BACKGROUND: N/A

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: \$10,000,000

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: Virginia General Assembly

AFFECTED AGENCIES: Economic Development, Utilities, Public Works, Planning

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: N/A

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. Resolution_ Support for Petersburg Pharma Park Infrastructure Bill (HB1800, Item 114 #11h)

**A RESOLUTION OF THE CITY OF PETERSBURG
CITY COUNCIL IN SUPPORT OF HB 1800, ITEM 114 #11h INFRASTRUCTURE
UPGRADES FOR THE PETERSBURG PHARMACEUTICAL PARK**

WHEREAS, the City of Petersburg's intentional economic development efforts has led to significant opportunities for our Pharmaceutical Park;

WHEREAS, in the past year, one of our largest employers in the Pharmaceutical Park, Phlow, received a \$354 million in federal Health and Human Services (HHS) / Biomedical Advance Research and Development Authority (BARDA) four-year grant (with the option to expand to \$812 million) to address deficiencies in the domestic production of generic pharmaceuticals; and

WHEREAS, this opportunity is critical to continue our revitalization efforts in Petersburg and makes Virginia and the region a national pharmaceutical manufacturing leader; and

WHEREAS, the City of Petersburg strongly supports the budget amendment, HB 1800, Item 114 #11h Infrastructure Upgrades for Pharmaceutical Manufacturing Economic Development for the \$10,000,000 from the general fund to fund expenses incurred from the installation of a water tank and associated infrastructure at the Pharmaceutical Park complex in the City of Petersburg; and

WHEREAS, we respectfully request that both the Senate and House budget conferees support the City of Petersburg with the much-needed infrastructure funding for the total \$10,000,000 from the general fund budget for FY22; and

WHEREAS, the City understands that these funds' disbursement is contingent upon the City of Petersburg executing a loan through the Department of Environmental Quality's Virginia Clean Water Revolving Loan Fund to address sewer improvements at the Pharmaceutical Park complex and is committed to pursuing this loan; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Petersburg approves and adopts the resolution.

Samuel Parham, Mayor

ATTEST:

Nykesha D. Jackson, Clerk of Council

Adopted by the Council of Petersburg, Virginia, this ____ day of _____, 2020



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Jeremy Tennant, Clay Mansell

RE: **Request to adopt a resolution authorizing the City Manager to execute an Infrastructure Development Agreement between the City of Petersburg and Phlow Corporation**

PURPOSE: To execute an Infrastructure Development Agreement (commonly referred to as the “Memorandum of Understanding” or “MOU”) between the City of Petersburg and Phlow Corporation (hereinafter “Phlow”).

REASON: The execution of this Infrastructure Development Agreement acts as the performance agreement outlining the expectations and responsibilities, primarily infrastructure upgrades, relating to Phlow’s development in Petersburg to fulfill their \$354 million grant from the United States Department of Health and Human Services. Phlow’s investment in Petersburg is critical, not only for their own projects and developments, but to assist and secure the expansion of the AMPAC Fine Chemicals facility and the new Civica LLC. manufacturing facility.

RECOMMENDATION: It is recommended that the City Council approves this resolution authorizing the City Manager to execute an Infrastructure Development Agreement between the City of Petersburg and Phlow.

BACKGROUND: In December 2019, the Coronavirus disease 2019 (COVID-19) was identified in Wuhan, China and developed into a global pandemic in early 2020. COVID-19 is primarily transmitted from person-to-person through respiratory droplets. These droplets are released when someone with COVID-19 sneezes, coughs, or even talks. Infectious droplets can land in the mouths or noses of people who are nearby and inhaled into the lungs.

As of mid-February 2021, the virus has infected more than 110 million globally and caused 2.4 million deaths. In the U.S., 27.8 million Americans have been infected, representing 25.35% of global cases, and more than 487,855 have died, representing 20.13% of global cases. The COVID-19 pandemic also plunged the U.S. and the global economy into the worst recession since World War II. A key factor in COVID-19 related complications and deaths is a lack of available medicines to fight COVID-19 symptoms and treat cases that require ventilators and intubation. Even before COVID-19, there was already a shortage of available medicines, but the pandemic has stressed an already strained medical supply. A lack of domestic production of the ingredients to make medicines has hurt the American people, as foreign producers of these ingredients have

had COVID-19 related factory closures and hoarding their own supply for their own citizens, leaving Americans at risk.

In the United States, there is a critical lack of domestic production of the raw and intermediate materials used to make medicines. Only 5% of the raw materials, known as Key Starter Materials (KSM's) are made in the U.S. KSM's are diverse and can range from plant matter, microorganisms, metals, and commercially available chemical ingredients to name a few. Only 20% of intermediate materials, known as Active Pharmaceutical Ingredients (API's) are made in the U.S. API's are more commonly known as the "active ingredient" found in all medicines. For example, Acetaminophen, which is found in Tylenol, is an API. 60% of the completed medicines, known as Finished Products or "Injectables", are made in the U.S. Finished Products are the medicines we consume and inject every day. This can include insulin shots, the previously mentioned Tylenol, cough syrups, cancer medications, and vaccines.

To address these shortages, Phlow corporation (Phlow) was founded in Richmond, Virginia in January 2020 as a public benefit company to manufacture high-quality generic drugs for the national medication stockpile to reduce the dependency on foreign suppliers. With the COVID-19 pandemic bringing the domestic pharmaceutical deficiencies to the forefront, Phlow was granted a four-year, \$354 million grant by the United States Department of Health and Human Services. This grant has an option to expand to \$812 million over 10 years. To fulfill the needs of this grant, Phlow is partnering with two companies to process raw materials into KSM's and API's, and subsequently, Finished Products. These two companies are AMPAC Fine Chemicals and Civica.

Phlow is a public benefit corporation founded to manufacture affordable, high quality, essential drugs in the United States. To help the United States secure its own strategic drug reserve, Phlow uses novel and innovative methods in the drug manufacturing industry to reduce the U.S.'s dependency on foreign supply chains. Established in January 2020, they are headquartered in Richmond and developing facilities in Petersburg. AMPAC Fine Chemicals (AFC), an SK pharnteco company, is a United States-based, custom manufacturer of active pharmaceutical ingredients (APIs, Drug Substances) and registered intermediates. AFC solves problems through technology and innovation to reliably deliver quality products that save and improve lives. With over 75 years of experience, AFC has mastered challenging chemistries, enabling us to provide the highest quality services to their customers. Their three integrated facilities are located in California, Texas, and Virginia. Civica Rx is a non-profit focused on making essential generic medications accessible and affordable. Civica Rx partners with healthcare systems to ensure that generic drugs are affordable and available as soon as possible. Civica Rx is focused on bringing value — in supply, quality, and price to the market. Established in 2018, they are headquartered in Lehi, Utah.

AMPAC Fine Chemicals established their Virginia operations in 2016 when they purchased the former Boehringer Ingelheim (BI) facility in Petersburg. Dr. Aslam Malik, CEO of AMPAC, cited the local workforce as a major factor in establishing AMPAC's Virginia operations in Petersburg. "I knew the people here. I knew this area had some very qualified people... If you really want to bet on something, you bet on the people." The current AMPAC facility produces API's and encompasses 197 acres and has a total capacity of 45,000 gallons. Phlow, partnering with AMPAC to fulfill their HHS grant, decided on Petersburg to open their facilities as well. Phlow has on their board of directors Martin Van Trieste, who is currently President and CEO of Civica.

Since the Phlow investment in Petersburg is not apart of a competitive bid with other cities, states, or countries, no incentive negotiations were required to take place. However, in September 2020, discussions began regarding the infrastructure upgrades that would be necessary to support the large manufacturing developments in the I-95 Technology Zone. Located on the east side of Interstate 95, the Petersburg Technology Zone was

created by City Council to attract high technology business activities that have special economic significance to the City. To support the developments of AMPAC Fine Chemicals, Phlow, and Civica, Phlow and the City developed the Memorandum of Understanding, which is formally known as the Infrastructure Development Agreement Between the City and Phlow Corp. Regarding 2820 Normandy Drive. This Infrastructure Development Agreement outlines the short-term (also known as the “Phase One”) infrastructure needs and the long-term (also known as the “Phase Two”) infrastructures needs.

The execution of this Infrastructure Development Agreement is critical to addressing infrastructure concerns raised by Phlow and their partners, and the execution of this agreement formalizes the expectations and responsibilities of the parties involved to ensure the successful development of a world-class pharmaceutical manufacturing park in the Petersburg I-95 Technology Zone.

COST TO CITY: Future infrastructure investment related to I-95 Technology Zone. **BUDGETED ITEM:** NA

REVENUE TO CITY:

Taxable revenue related to Phlow’s \$200 million investment in the Petersburg I-95 Technology Zone.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: NA

AFFECTED AGENCIES: City Manager, Economic Development, Planning and Community Development.

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: NA

REQUIRED CHANGES TO WORK PROGRAMS: NA

ATTACHMENTS:

1. INFRASTRUCTURE DEVELOPMENT AGREEMENT RESOLUTION
2. 210302_PLW_Petersburg Infrastructure Schedule
3. 210302_PLW_Petersburg Site Utility Infrastructure Timeline
4. Phlow_CoPMOU_Executed03032021 (1)

**RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE A
INFRASTRUCTURE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF
PETERSBURG, VIRGINIA AND PHLOW CORPORATION**

WHEREAS, the COVID-19 pandemic has brought deficiencies in the domestic supply chain of pharmaceuticals to national attention; and

WHEREAS, companies such as Civica Inc., Phlow Corporation, and AMPAC Fine Chemicals are establishing and expanding facilities in Petersburg, Virginia to address the deficiencies in the domestic supply of pharmaceuticals; and

WHEREAS, the Phlow Corporation development will bring approximately 350 jobs and invest approximately \$200 million in new and expanded facilities; and

WHEREAS, the City of Petersburg has the responsibility to seek and consider financing methods at the City Council's discretion to address water and sewer infrastructure upgrades related to the I-95 Technology Zone; and

WHEREAS, Phlow Corporation has the responsibility to design and construct the necessary water and sewer infrastructure upgrades related to the I-95 Technology Zone; and

WHEREAS, the City of Petersburg stands to benefit from infrastructure improvements, taxable revenue related to the new developments, and the creation of new jobs.

THEREFORE BE IT RESOLVED, that the City Council of Petersburg, Virginia authorizes the City Manager to execute the Infrastructure Development Agreement Between the City and Phlow Corp. Regarding 2820 Normandy Drive.

2020



2022

November 2020
Project Kickoff

January 2022
Utility Work Complete

April 2022
Kilo Final Completion

June 2022
SAPIR Final Completion

October 2022
HMF Final Completion

OFF-SITE UTILITIES

Design

Permitting

Construction



Southeast Petersburg Water Infrastructure Upgrades

3/2/2021

Water

Alternative	Start Date	Completion Date
16" Water Main on Normandy Drive	11/12/2020	1/31/2022

Wastewater

Alternative	Start Date	Completion Date
Phlow Wastewater Force Main to Poor Creek Interceptor	11/12/2020	1/31/2022

**INFRASTRUCTURE DEVELOPMENT AGREEMENT
BETWEEN THE CITY AND PHLOW CORP. REGARDING
2820 NORMANDY DRIVE**

On this ___ day of March, 2021 came the City of Petersburg, Virginia and Phlow Corp hereinafter referred to collectively as “the parties” and entered into this Infrastructure Development Agreement” to wit:

RECITALS

WHEREAS, at all times herein mentioned, the **City of Petersburg, Virginia** (hereinafter “the City”) was and remains a municipal corporation formed and operating under the laws of the Commonwealth of Virginia, whose principal office is located at 135 North Union Street, Petersburg, VA 23803, and whose Interim City Manager is Kenneth Miller; and

WHEREAS, at all times herein mentioned, **Phlow Corp.**, (hereinafter “Phlow”) was and remains a Delaware Corporation registered with the Virginia State Corporation Commission (Entity ID No.: 11054809) and authorized to conduct business in the Commonwealth of Virginia, and whose principal office is located at 1001 Haxall Pt. Ste. 1B, Richmond, VA 23219-3940 and whose Chief Executive Officer is Eric S. Edwards, and whose Registered Agent is “Corporation Service Company” whose address is 100 Shockoe Slip Fl 2, Richmond, VA 23219-4100; and

WHEREAS, the parties herby enter into this Infrastructure Development Agreement and be bound by the following terms and conditions:

A. BACKGROUND

Phlow is partnering with a company (hereinafter “a company” and “the company”) to design and construct manufacturing facilities for pharmaceutical products upon property that is currently owned by Phlow at 2820 Normandy Drive, Petersburg, VA. The project will produce more than 400 new jobs in Petersburg and will have a positive economic impact on the City.

The parties anticipate that the City will receive a grant through the Commonwealth Opportunity Fund (“COF”) which is detailed in the attached offer from the Virginia Economic Development Partnership (**Exhibit A**) entitled “Virginia’s Financial Offer for Project Tube dated July 24, 2020. Through this grant, it is anticipated that up to \$1,997,250 will be made available in support of the project water and sewer infrastructure requirements with proportionate clawback provisions should the company not achieve their investment and jobs target within the five-year performance period.

The City of Petersburg has agreed to facilitate certain improvements to the utility infrastructure in the area of this property which will accommodate the proposed project contingent upon the representations and mutual promises described in this Agreement as follows:

B. DEFINITIONS

“the facility” means the facility to be constructed by Phlow upon the property owned by Phlow (which will be leased by a company) that is the subject of this Agreement

“the property” means the property owned by Phlow that is the subject of this MOU (Tax Map No.: 0603010800)

“the parties” means Phlow and the City.

C. PHLOW’S REPRESENTATIONS AND OBLIGATIONS

1. The authorized representative for Phlow with respect to the matters identified in this Agreement is listed below. All correspondence and Notices required pursuant to this Agreement shall be sent to the authorized representative as follows:

Eric S. Edwards, CEO
PHLOW, CORP.
1001 Haxall Pt. Ste. 1B
Richmond, VA 23219-3940

Any Legal Notices or pleadings pertaining to matters referenced in this Agreement shall be served upon the Registered Agent for Phlow or as otherwise authorized by law.

2. Phlow is a pharmaceutical manufacturing company seeking to bring advanced manufacturing of pharmaceutical products back on U.S. soil to produce essential medicines to treat citizens in the event of a healthcare emergency or supply shortage.
3. Phlow has contracts for the provision of such goods and services including but not limited to a contract with the United States Department of Health and Human Services.
4. In order to facilitate the provision of these goods and services, Phlow wishes to design and construct more than \$200M in facilities which will produce more than 400 new jobs to Petersburg and have a positive economic impact on the City.
5. Phlow wishes to construct the infrastructure upon the property and lease a facility to a company in furtherance of the effort to provide the herein described goods and services.
6. As part of its due diligence for the purchase of the property, Phlow acquired an assessment of the water and sewer facilities (**Exhibit B**) to support the operation of the facility.

7. With respect to the design and construction of the facility, Phlow may designate a project manager to serve as the primary point of contact of the parties in reference to this project. Such designation shall be delivered in writing to the parties by Phlow. In the absence of such a designation, the person designated in Section C(1) of this Agreement shall serve in this capacity on behalf of Phlow.
8. Phlow or its designee will be responsible for the project including but not limited to, development of the property, design, and construction of the facility.
9. Phlow will work with the City and cause the infrastructure improvements identified in the list (**Exhibit C**) to be completed in accordance with the project timeline (**Exhibit D**).
10. Phlow will be responsible for obtaining all necessary permits and paying all applicable fees, and will at all times ensure that the project complies with all applicable federal, state, and local laws, statutes, ordinances, and regulations.
11. The COF Grant will permit disbursements of up to \$1,997,250 to fund the design and construction of the 12” Water Main along Normandy Drive and connection of the water loop to the undeveloped portion of the property, and connection of the Poor Creek Interceptor to the undeveloped portion of the property as identified in (Exhibit C).
12. The portion of the Grant referenced in paragraph C(12) will be held by VEDP and disbursed to Phlow as expenses for the completion of the water loop and connection of the Poor Creek Interceptor are incurred within a budget previously approved by the parties and submitted to VEDP.
13. If the \$1,997,250 identified in the paragraph *supra*. are insufficient to cover the cost of design, construction, and connection of the water loop interceptor as described above, Phlow will supply the remaining funds for completion of design, construction, and connection of the water loop interceptor.
14. The grading and preparation of the land for the facility shall be performed at Phlow’s sole expense and responsibility.
15. Phlow shall be responsible for completion of all of the items for which they have been identified as responsible for in (Exhibit C) and shall be solely responsible for the costs of such items as identified as their responsibility in (Exhibit C).
16. Phlow agrees to indemnify the City and hold the City harmless for any and all funds that the City may be required to repay under the COF Grant pursuant to the clawback provisions should the company fail to meet the performance measures described in the COF Grant.

17. Phlow will assist and support the City in identifying any and all funding opportunities and will provide any and all necessary documentation which may be requested of Phlow to support the pursuit of such funding opportunities.

D. CITY'S REPRESENTATIONS AND OBLIGATIONS

18. The authorized representative for the City with respect to the matters identified in this Agreement is listed below. All correspondence and Notices required pursuant to this Agreement shall be sent to the authorized representative as follows:

Kenneth Miller, Interim City Manager
CITY OF PETERSBURG, VIRGINIA
135 North Union Street
Petersburg, VA 23803

Any Legal Notices or pleadings pertaining to matters referenced in this Agreement shall be served upon the City Attorney for the City of Petersburg or as otherwise authorized by law.

19. The City is a municipal corporation formed and operating under the laws of the Commonwealth of Virginia.
20. The City desires to encourage the development of the property for the use and purposes described in this Agreement in anticipation of receiving the benefit of new jobs, capital investment in local real estate, and positive impacts on median household income as projected from the satisfaction by the company of the performance metrics as described in the COF Grant.
21. In reliance upon the company's promises to meet and maintain these performance metrics as described in the COF Grant, and for the mutual promises of the parties as described herein, the City Agrees to the allocation of up to \$1,997,250.00 in funds from the COF Grant toward the design, construction, and connection of the 12" Water Main along Normandy Drive and the connection of the Poor Creek interceptor to the undeveloped site in accordance with (Exhibit C).
22. Subject to paragraph (25) *infra.*, the City shall improve and repair its infrastructure to "standard performance" as described in (Exhibit B and enumerated as "Phase 2" in Exhibit C) within three (3) years of executing this Agreement.

23. The City will also afford the company a Technology Zone Grant Credit in accordance with the provisions of the City’s Technology Zone Ordinance upon compliance by the company with the “new and qualifying existing equipment” investment requirements specified in the grant documents which are estimated, based upon anticipated machinery and tools investments provided by the company to qualify for a grant in an amount up to \$2,900,000.00 which shall be distributed as a tax credit in accordance with the City’s Technology Grant Program. This credit shall constitute the City’s match as required for the COF Grant described herein.
24. The City’s financial obligations pursuant to this Agreement are limited to the allocation of up to \$1,997,250.00 distributed under the COF Grant as described above, and the Technology Zone Grant Credit as described herein, and any funds which may in the future be secured from the Commonwealth. Petersburg City Council (hereinafter “Council”) shall consider other funding sources, including but not limited to loans or grants requiring local contribution only upon a determination by Council in its sole discretion, that such loans or grants are in the best interests of the City and will not have a detrimental financial impact upon the City. In the event that the COF Grant funds are not awarded as described herein, or future funds are not received or appropriated by Council for this project, the City will have no further financial obligation and shall be relieved of any and all duties and responsibilities under this Agreement without further recourse by the parties or any third party.
25. Subject to paragraph 25 *supra.*, the City shall be responsible for completion of all of the items for which they have been identified as responsible for in (Exhibit C) and shall be solely responsible for the costs of such items as identified as their responsibility in (Exhibit C).
26. The City will assist and support Phlow in identifying any and all funding opportunities and will provide any and all necessary documentation which may be requested of the City, as permitted by law, to support the pursuit of such funding opportunities.

E. GENERAL TERMS AND CONDITIONS

27. This document represents the entire agreement between the parties concerning the matters described herein. Any former or subsequent agreement concerning these matters that is not memorialized in a written addendum to this Agreement and signed by all parties is hereby declared to be null and void.
28. This document and any subsequent addendums hereto, including all terms, conditions, and requirements thereof, shall be construed solely under the laws of the Commonwealth of Virginia.

29. Any dispute arising from the performance or nonperformance of any condition or requirement of this Agreement shall be litigated solely in the Circuit Court for the City of Petersburg, Virginia.
30. If any term or provision of this Agreement is deemed by a Court of competent jurisdiction to be illegal or otherwise unenforceable, the remaining terms of this Agreement shall continue in full force and effect.
31. This Agreement shall become effective on the date upon which the last signature is received to constitute a fully executed Agreement and shall be fully binding upon the parties as set forth herein.

By signing this document, the undersigned represent that they are authorized to execute this Agreement on behalf of their respective entities, and that in doing so, do hereby bind said entities to all terms and conditions described herein.

CITY OF PETERSBURG, VIRGINIA

By: _____
Kenneth Miller, Interim City Manager

COMMONWEALTH OF VIRGINIA
In the City of Petersburg

On this ____ day of _____, 2020, the undersigned Kenneth Miller, Interim City Manager for the City of Petersburg, Virginia, whose identity was confirmed by valid photographic identification, did personally appear before me, a Notary Public for the Commonwealth of Virginia, and affix his signature to this INFRASTRUCTURE DEVELOPMENT AGREEMENT BETWEEN THE CITY AND PHLOW CORP., REGARDING 2820 NORMANDY DRIVE.

Notary

Notary ID No.: _____
My Commission Expires: _____

PHLOW CORP.

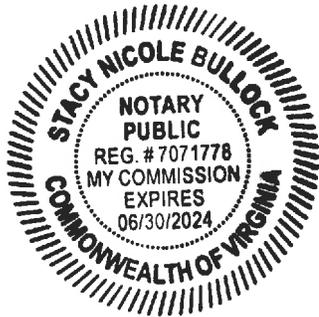
By: [Signature]
Eric S. Edwards, Chief Executive Officer

COMMONWEALTH OF VIRGINIA
In the City of Petersburg

On this 4th day of March, 2020, the undersigned Eric S. Edwards, Chief Executive Officer for Phlow Corp., whose identity was confirmed by valid photographic identification, did personally appear before me, a Notary Public for the Commonwealth of Virginia, and affix his signature to this INFRASTRUCTURE DEVELOPMENT AGREEMENT BETWEEN THE CITY AND PHLOW CORP., REGARDING 2820 NORMANDY DRIVE.

[Signature]
Notary

Notary ID No.: 7071778
My Commission Expires: 6/30/2024





City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager

FROM: Nykesha Jackson

RE: **Consideration of appointing Lionel Lyons as the primary to the Appomattox River Water Authority (ARWA) Board.**

PURPOSE: To make an appointment to the ARWA Board.

REASON: ARWA has voted Deputy City Manager Lionel Lyons as Vice -Chairperson for the board.

RECOMMENDATION: Recommend City Council appoint Lionel Lyons, Deputy City Manager to the Appomattox River Water Authority Board as the primary member until the City Manager position is filled.

BACKGROUND: The Appomattox River Water Authority consists of the Cities of Colonial Heights and Petersburg and the Counties of Chesterfield, Dinwiddie, and Prince George. The Authority is responsible for the operation of the Appomattox River Water Treatment plant.

The Authority Board includes one (1) Member and one (1) Alternate Member from each of the political subdivisions. City Council has, as have other as its representatives on the Board and the Director of Public Works as the alternate.

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: N/A

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: N/A

AFFECTED AGENCIES: N/A

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: N/A

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. Appomattox River Water Authority Board 2020
2. Lyons as primary to ARWA resolution

	APPOMATTOX RIVER WATER AUTHORITY BOARD		
	Number of Members: 2		
TERM	APPOINTMENT	APPOINTED	NEW APPLICANT
7/21/2020-12/31/2022			
7/21/2020-12/31/2022	Lionel Lyons, Deputy City Manager (alternate)	7/21/2020	
	AUTHORITY:		COMPOSITION:
	Virginia Water & Sewer Authorities Act, Section 15.1-1249 of the Code of Virginia; Concurrent Resolutions of the governing bodies of the Cities of Petersburg and Colonial Heights and the counties of Chesterfield, Dinwiddie, and Prince George setting forth the Articles of Incorporation - Resolution #4692 adopted October 4, 1960. Water Authority began furnishing water on January 1, 1968.		One (1) member and one (1) alternate member from each of the political subdivisions participating in the authority.
	MEETINGS:		TERMS:
	May 15, 2014; June 25, 2014; July 24, 2014; September 25, 2014(1:00pm) , 2:00p.m., Authority Office Lake Chesdin		Four (4) years
	STAFF LIAISON:		
	Robert C. Wichser, Executive Director		
	Appomattox River Water Authority		
	21300 Chesdin Road		
	Petersburg, VA 23803		
	(804) 590-1145		

**A RESOLUTION APPOINTING LIONEL LYONS, DEPUTY CITY
MANAGER, AS THE PRIMARY FOR THE APPOMATTOX RIVER
WATER AUTHORITY BOARD**

BE IT RESOLVED, by the City Council of the City of Petersburg, that it hereby appoint Lionel Lyons, Deputy City Manager, as the primary member for the Appomattox River Water Authority Board.



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager

FROM: Nykesha Jackson

RE: **Consideration of appointing Lionel Lyons as primary to the South Central Wastewater Treatment Authority Board.**

PURPOSE: To make appoint Lionel Lyons as primary to the South Central Wastewater Treatment Authority Board.

REASON: South Central Wastewater Treatment Authority Board has voted Lionel Lyons as the Vice-Chair of the board. The need the City to take action to make him primary until the City Manager seat is filled with the new City Manager.

RECOMMENDATION: Recommend Council appoint Lionel Lyons, Deputy City Manager, as the primary representative of South Central Wastewater Treatment Authority Board.

BACKGROUND: South Central Wastewater Treatment Authority operates the Petersburg Wastewater Plant, which serves the Cities of Colonial Heights and Petersburg along with the Counties of Chesterfield, Dinwiddie and Prince George.

The Authority Board includes one (1) Member and one (1) Alternate Member from each of the political subdivisions. City Council has, as have other member jurisdiction, traditionally appointed the locality's chief administrative officer as its representative on the Board and the Director of Public Works as the alternate.

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: N/A

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: N/A

AFFECTED AGENCIES:

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION:

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. Lyons as primary to SCWTA resolution
2. South Central Wastewater Treatment Authority 2021

**A RESOLUTION APPOINTING LIONEL LYONS, DEPUTY CITY
MANAGER, AS THE PRIMARY FOR THE SOUTH CENTRAL
WASTEWATER TREATMENT AUTHORITY BOARD**

BE IT RESOLVED, by the City Council of the City of Petersburg, that it hereby appoint Lionel Lyons, Deputy City Manager, as the primary member for the South Central Wastewater Treatment Authority Board for term ending December 31, 2024

	SOUTH CENTRAL WASTEWATER TREATMENT AUTHORITY		
	Number of members: 2		
TERMS	APPOINTMENTS	APPOINTED	
7/21/2020-12/31/2024			
7/21/2020-12/31/2024	Lionel Lyons, Deputy City Manager	7/21/2020	
	AUTHORITY:		COMPOSITION:
	Operates the Petersburg Wastewater Plant, which serves the cities of Colonial Heights and Petersburg along with the counties of Chesterfield, Dinwiddie and Prince George.		One (1) member and one (1) alternate member from each of the political subdivisions participating in the authority.
	MEETING DATE AND TIME:		TERMS:
	Third Wednesday, 2:00pm		Four (4) years
	STAFF LIAISON:		
	William Leary, Director of South Central Wastewater Treatment Plant		
	(804) 861-0111		



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Jeremy Tennant, Reginald Tabor

RE: **A Resolution authorizing the City Manager to execute the Performance Agreement between the City of Petersburg, Civica, Inc & Virginia Economic Development Partnership for the Commonwealth's Opportunity Fund grant for a Pharmaceutical Manufacturing Development in Petersburg.**

PURPOSE: To authorize the City Manager to execute an Agreement between the City of Petersburg, the Virginia Economic Development Partnership and Civica regarding the construction and operations of a pharmaceutical manufacturing and processing facility in the City, which will result in a significant capital investment, and the creation and maintenance of a significant number of new jobs.

REASON: To ensure that all parties agree on the process of administering the Commonwealth Opportunity Fund (COF) Grant, and the use of COF Grant funding, as well as the obligations of the Business regarding capital investments and new jobs.

RECOMMENDATION: It is recommended that the City Council adopts the resolution.

BACKGROUND: The City of Petersburg has been awarded a Commonwealth Opportunity Fund (COF) grant to receive \$5,700,000 through the Virginia Economic Development Partnership (VEDP) to support the development of a pharmaceutical manufacturing and processing facility to be owned and operated by Civica. The City of Petersburg will provide an estimated \$2,900,000 in Machinery and Tools (M&T) Tax grant credit as a required match toward the COF grant. The M&T Tax grant credit is associated with the Technology Zone previously approved by the City Council, in which the project is located.

<u>Category of Incentive:</u>	<u>Total Amount</u>
COF Grant	\$5,700,000
VEDP Talent Accelerator Program ("VTAP") (Approximate Value)	\$759,000
Port of Virginia Economic and Infrastructure Development Grant ("POV Grant")	\$46,000

<u>Category of Incentive:</u>	<u>Total Amount</u>
Machinery and Tools Tax Grant (Estimated)	\$2,900,000

A Performance Agreement is required to be executed to receive the funding. The Performance Agreement established the following:

1. The definition of terms in the Performance Agreement.
2. Performance targets related to capital investment and job creation.
3. target dates and the process for the disbursement of COF grant funds.
4. A "Break-Event Point" for new City and State revenue.
5. Reporting requirements for Civica.
6. Verification of Targets.
7. A repayment obligation if minimum targets are not met.

COST TO CITY: M&T Tax revenue, estimated to be \$2,900,000 over 5 years.

BUDGETED ITEM: \$5,700,000.00

REVENUE TO CITY: Tax Revenue from the Development including Real Estate, Personal Property and Machinery and Tools after 5 years.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: Virginia Economic Development Partnership

AFFECTED AGENCIES: Department of Economic Development
Department of Finance
Department of Budget

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: N/A

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. Civica VEDP Petersburg Agreement 011221
2. Project Tube Presentation (03022021)
3. 0316_2021ResolutionPerformanceAgreementCOF

COMMONWEALTH'S DEVELOPMENT OPPORTUNITY FUND

PERFORMANCE AGREEMENT

This **PERFORMANCE AGREEMENT** (the "Agreement") made and entered this ____ day of _____, 2021, by and among the **CITY OF PETERSBURG, VIRGINIA** (the "Locality"), a municipal corporation of the Commonwealth of Virginia (the "Commonwealth"), **CIVICA, INC.**, a Delaware nonprofit, nonstock corporation authorized to transact business in the Commonwealth (the "Company"), and the **VIRGINIA ECONOMIC DEVELOPMENT PARTNERSHIP AUTHORITY** ("VEDP"), a political subdivision of the Commonwealth

WITNESSETH:

WHEREAS, the Locality has been awarded a grant of and expects to receive \$5,700,000 (the "COF Grant") from the Commonwealth's Development Opportunity Fund (the "Fund") through VEDP for the purpose of inducing the Company to construct, equip, improve, and operate a pharmaceutical manufacturing and processing facility in the Locality (the "Facility"), thereby making a significant Capital Investment, and creating and Maintaining a significant number of New Jobs, as such capitalized terms are hereinafter defined;

WHEREAS, except as noted below, the Locality is willing to provide the funds to the Company for the use of the Company for the purposes described herein, provided that the Company meets certain criteria relating to Capital Investment and New Jobs;

WHEREAS, the Locality, the Company, and VEDP desire to set forth their understanding and agreement as to the payout of the COF Grant, the use of the COF Grant proceeds, the payment of the COF Grant, and the obligations of the Company regarding Capital Investment and New Jobs;

WHEREAS, the construction, equipping, improvement, and operation of the Facility will entail a capital expenditure by or on behalf of the Company of approximately \$124,500,000, of which approximately \$60,700,000 will be invested in machinery and tools, approximately \$1,000,000 will be invested in furniture, fixtures and business personal property, and approximately \$62,800,000 will be invested in the construction, and up-fit of the buildings for the Facility;

WHEREAS, the construction, equipping, improvement, and operation of the Facility will further entail the creation and Maintenance of 186 New Jobs at the Facility; and

WHEREAS, the stimulation of the additional tax revenue and economic activity to be generated by the Capital Investment and New Jobs constitutes a valid public purpose for the expenditure of public funds and is the animating purpose for the COF Grant:

NOW, THEREFORE, in consideration of the foregoing, the mutual benefits, promises and undertakings of the parties to this Agreement, and other good and valuable consideration, the

receipt and sufficiency of which are hereby acknowledged, the parties covenant and agree as follows.

Section 1. Definitions.

For the purposes of this Agreement, the following terms shall have the following definitions:

“Board” means the Board of Directors of the Virginia Economic Development Partnership Authority.

“Capital Investment” means a capital expenditure by or on behalf of the Company (on a GAAP accrual basis) in taxable real property, taxable tangible personal property, for both, at the Facility. The purchase or lease of machinery and tools or furniture, fixtures, and business personal property, including under an operating lease, and expected building construction, improvement and up-fit by or on behalf of the Company will qualify as Capital Investment. A capital expenditure related to a leasehold interest in real property will be considered to be made “on behalf of the Company” if a lease between a developer and the Company is a capital lease, or is an operating lease having a term of at least ten years, and the real property would not have been constructed or improved but for the Company’s interest in leasing some or all of the real property. A capital expenditure in taxable real property, taxable tangible personal property, or both, at the Facility made by another entity, including partners of the Company, will be considered to be made “on behalf of the Company.” Only the capital expenditures allocated to the portion of the real property to be leased by the Company will count as “Capital Investment.” The Capital Investment must be in addition to the capital improvements at the Facility as of October 1, 2020.

“Capital Investment Target” means that the Company has made or caused to be made and retained Capital Investments of at least \$124,500,000.

“Fund” means the Commonwealth’s Development Opportunity Fund.

“Maintain” means that the New Jobs will continue without interruption from the date of creation through the date that achievement of the New Jobs Target is being tested. Positions for the New Jobs will be treated as Maintained during periods in which such positions are not filled due to (i) temporary reductions in the Company’s employment levels (so long as there is active recruitment for open positions), (ii) strikes, and (iii) other temporary work stoppages.

“New Job” means new permanent full-time employment of an indefinite duration at the Facility for which the standard fringe benefits are provided by the Company for the employee, and for which the Company pays an average annual wage of at least \$83,978. “Average annual wage” means the average annual salary of all full-time positions at the Facility determined by dividing total payroll (of a type included in W-2 compensation) provided to all full-time positions at the Facility calculated at the Performance Date by the number of full-time positions at the Facility. The Company may, at its sole discretion, exclude some positions for purposes of determining both the average annual wage and the number of qualifying New Jobs. Each New Job must require a minimum of either (i) 35 hours of an employee’s time per week for the entire

normal year of the Company's operations, which "normal year" must consist of at least 48 weeks, or (ii) 1,680 hours per year. Seasonal or temporary positions, positions created when a job function is shifted from an existing location in the Commonwealth, and positions with construction contractors, vendors, suppliers and similar multiplier or spin-off jobs shall not qualify as New Jobs. As of October 1, 2020, there are no full-time positions at the Facility.

"New Job Target" means that the Company has created and Maintained at least 186 New Jobs.

"Performance Date" means December 31, 2025. If the Locality, in consultation with VEDP, deems that good faith and reasonable efforts have been made and are being made by the Company to achieve the Targets, on or before the Performance Date the Locality and Company may request an extension of the Performance Date by up to 15 months. Any extension of the Performance Date shall require the prior approval of the Company and the Board. If the Performance Date is extended, the Locality shall send written notice of the extension to the Company and VEDP and the date to which the Performance Date has been extended shall be the "Performance Date" for the purposes of this Agreement.

"Performance Report" means a report to be filed by the Company in accordance with Section 5. The "Final Performance Report" is to be filed within 90 days after the Performance Date. As noted in Section 5, the Locality and VEDP may each request a Performance Report at other dates prior to the Performance Date.

"Targets" means the Capital Investment Target and the New Jobs Target, all to be achieved as of the Performance Date.

"Virginia Code" means the Code of Virginia of 1950, as amended.

Section 2. Targets; Statutory Criteria.

(a) *Targets:* The Company will construct, equip, improve, and operate the Facility, and achieve the Targets.

(b) *Encouragement to Offer New Jobs to Residents of the Commonwealth:* The Locality and VEDP hereby strongly encourage the Company to ensure that at least 30% of the New Jobs are offered to persons that are or will become "Residents" of the Commonwealth, as defined in Virginia Code Section 58.1-302. In pertinent part, that definition includes natural persons domiciled in Virginia or natural persons who, for an aggregate of more than 183 days of the year, maintained a place of abode within the Commonwealth, whether domiciled in the Commonwealth or not.

(c) *Prevailing Wage; Unemployment and Poverty Rates:* The average annual wage of the New Jobs of at least \$83,978 is more than the prevailing average annual wage in the Locality of \$41,841. The Locality is a high-unemployment locality, with an unemployment rate for 2019, which is the last year for which such data is available, of 5.6% as compared to the 2019 statewide unemployment rate of 2.8%. The Locality is a high-poverty locality, with a poverty rate for 2018,

which is the last year for which such data is available, of 24.1% as compared to the 2018 statewide poverty rate of 10.7%.

(d) *Disclosure of Political Contributions:* The Company acknowledges that the name of the Company will be shared by VEDP with the Governor of Virginia, and any campaign committee or political action committee associated with the Governor. The Company acknowledges that within 18 months of the date of this Agreement, the Governor, his campaign committee, and his political action committee will submit to the Virginia Conflict of Interest and Ethics Advisory Council a report listing any contribution, gift, or other item with a value greater than \$100 provided by the Company to the Governor, his campaign committee, or his political action committee, respectively, during the period from the date of the Company's application for the COF Grant through the one-year period immediately after the date of this Agreement.

(e) *Support for Virginia's and Locality's Economic Development Efforts:* Recognizing that it is in the best interest of all parties for the Commonwealth and the Locality to achieve sustained economic growth, the parties will periodically engage with one another to advise on economic development strategies and initiatives for the Commonwealth and the Locality, such as promoting the attributes of the Commonwealth and the Locality as places to do business, or highlighting important industry trends and/or business development opportunities that the Commonwealth or the Locality may wish to pursue. Such engagement would include the Company's participation in occasional business retention and expansion visits from VEDP personnel, as deemed appropriate based on the project parameters and nature of the incentives provided to the Company.

(f) *Reduced Local Match; Amount of COF Grant:* Due to the importance of the pharmaceutical industry to the Locality, the Central Virginia region and the Commonwealth, as a whole, the Governor has determined that the Facility constitutes a project of regional or statewide interest, has approved a COF Grant in the amount of \$5,700,000, and has elected to accept a local match for the COF Grant less than the full \$5,700,000 amount of the COF Grant. The local match will be a grant in an amount equal to the machinery and tools tax due from the Company for the first five years of the Facility beginning January 1, 2021 and ending December 31, 2026, which amount is estimated to be approximately \$2,900,000. VEDP will include this information in the next report on expenditures from the Fund required by Section 2.2-115 F. of the Virginia Code.

Section 3. Disbursement of COF Grant.

(a) *General Provisions:* The disbursement of the COF Grant proceeds to the Company will serve as an inducement to the Company to achieve the Targets.

The COF Grant is to be disbursed as \$2,490,000 for the Company's Capital Investment Target, \$1,212,750 for the Company's New Jobs Target, and \$1,997,250 for improvements by the Locality.

The statutory minimum requirements for a COF Grant in the Locality require that the Company (1) make or cause to be made and retained a Capital Investment of at least \$1,500,000 and (2) create and Maintain at least 15 New Jobs (the "Statutory Minimum Requirements").

The COF Grant proceeds shall be retained in the Fund until needed for disbursement or the COF Grant is withdrawn in accordance with the terms of this Agreement.

(b) *Disbursement of the Portion of the Grant to be Disbursed for New Jobs:*

(A) Grant Year Ending December 31	(B) New Jobs Expected at End of Grant Year	(C) Expected Grant Payment for Grant Year to be Disbursed for New Jobs	(D) Maximum Cumulative Grant Payment Available through Grant Year to be Disbursed for New Jobs
2021	46	\$75,900	\$75,900
2022	135	\$222,750	\$298,650
2023	182	\$300,300	\$598,950
2024	186	\$306,900	\$905,850
2025	186	\$306,900	\$1,212,750

If the verified Performance Report for the December 31, 2021 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to \$1,650 per New Job created and Maintained as of December 31, 2021, but not for more than 46 New Jobs (no more than \$75,900). If the Company has qualified for less than \$75,900, the amount not paid (the “2021 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$222,750 Expected Grant Payment for the December 31, 2022 Grant Year, *plus* the 2021 Grant Rollover Amount (if any) from the 2021 Grant Year is the “Grant Amount Available for 2022.” If the verified Performance Report for the December 31, 2022 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to \$1,650 per New Job created and Maintained as of December 31, 2022, up to the Grant Amount Available for 2022. If the Company has qualified for less than the Grant Amount Available for 2022, the amount not paid (the “2022 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$300,300 Expected Grant Payment for the December 31, 2023 Grant Year, *plus* the 2022 Grant Rollover Amount (if any) from the 2022 Grant Year is the “Grant Amount Available for 2023.” If the verified Performance Report for the December 31, 2023 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to \$1,650 per New Job created and Maintained as of December 31, 2023, up to the Grant Amount Available for 2023. If the Company has qualified for less than the Grant Amount Available for 2023, the amount not paid (the “2023 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$306,900 Expected Grant Payment for the December 31, 2024 Grant Year, *plus* the 2023 Grant Rollover Amount (if any) from the 2023 Grant Year is the “Grant Amount Available for 2024.” If the verified Performance Report for the December 31, 2024 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to \$1,650 per New Job created and Maintained as of December 31, 2024, up to the Grant Amount Available for 2024. If the Company has qualified for less than the Grant Amount Available for 2024, the amount not paid (the “2024 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$306,900 Expected Grant Payment for the December 31, 2025 Grant Year, *plus* the 2024 Grant Rollover Amount (if any) from the 2024 Grant Year is the “Grant Amount Available for 2025.” If the verified Final Performance Report for the December 31, 2025 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to \$1,650 per New Job created and Maintained as of December 31, 2025, up to the Grant Amount Available for 2025.

Any disbursements to the Company under this subsection (b) will be considered to be earned when paid, and will not be subject to any repayment or clawback.

(c) *Disbursement of the Portion of the COF Grant to be Disbursed for Capital Investment:*

(A) Grant Year Ending December 31	(B) Capital Investment Expected at End of Grant Year	(C) Expected Grant Payment for Grant Year to be Disbursed for Capital Investment	(D) Maximum Cumulative Grant Payment Available through Grant Year to be Disbursed for New Jobs
2020	\$26,600,000	\$ 532,000	\$ 532,000
2021	76,800,000	1,536,000	2,068,000
2022	16,600,000	332,000	2,400,000
2023	4,500,000	90,000	2,490,000
2024	---	---	2,490,000

If the verified Performance Report for the December 31, 2020 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of COF Grant equal to approximately \$20,000 per \$1,000,000 of Capital Investment made through December 31, 2020, but taking into account Capital Investments of no more than \$26,600,000. The amount of the COF Grant to be disbursed will be equal to such amount of Capital Investment multiplied by .02 (so, the maximum that may be disbursed for the 2021 Grant Year will be \$26,600,000 x .02 = \$532,000). If the Company has qualified for less than \$532,000, the amount not paid (the “2020 Grant Rollover Amount”) will be rolled over to,

and available for disbursement in, the next year. If the Company has made Capital Investments in excess of \$26,600,000, the amount in excess will be carried forward (the “2020 Grant Carryforward Amount”) will be applied to and calculated in the Capital Investment in the next year.

The \$1,536,000 Expected Grant Payment for the December 31, 2021 Grant Year, *plus* the 2020 Grant Rollover Amount (if any) from the 2020 Grant Year is the “Grant Amount Available for 2021.” If the verified Performance Report for the December 31, 2021 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to approximately \$20,000 per \$1,000,000 of Capital Investment made through December 31, 2021 (less the amount of Capital Investment for which the Company received a Grant Payment for the 2020 Grant Year in accordance with the prior paragraph), but taking into account cumulative additional Capital Investments of no more than \$76,800,000 plus any shortfall in Grant Year 2020 from the \$26,600,000 for which the Company may have sought a COF Grant disbursement in Grant Year 2020. The amount of the COF Grant to be disbursed will be equal to such amount of additional cumulative Capital Investment multiplied by .02 (so, the maximum that may be disbursed for the 2021 Grant Year will be the Grant Amount Available for 2021). If the Company has qualified for less than the Grant Amount Available for 2021, the amount not paid (the “2021 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$332,000 Expected Grant Payment for the December 31, 2022 Grant Year, *plus* the 2021 Grant Rollover Amount (if any) from the 2021 Grant Year is the “Grant Amount Available for 2022.” If the verified Performance Report for the December 31, 2022 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to approximately \$20,000 per \$1,000,000 of Capital Investment made through December 31, 2022 (less the amount of Capital Investment for which the Company received a Grant Payment for the 2020 or 2021 Grant Years in accordance with the prior paragraphs), but taking into account cumulative additional Capital Investments of no more than \$16,600,000 plus any shortfall in Grant Years 2020 or 2021 from the \$103,400,000 for which the Company may have sought a COF Grant disbursement in Grant Years 2020 or 2021. The amount of the COF Grant to be disbursed will be equal to such amount of additional cumulative Capital Investment multiplied by .02 (so, the maximum that may be disbursed for the 2022 Grant Year will be the Grant Amount Available for 2022). If the Company has qualified for less than the Grant Amount Available for 2023, the amount not paid (the “2022 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The \$90,000 Expected Grant Payment for the December 31, 2023 Grant Year, *plus* the 2022 Grant Rollover Amount (if any) from the 2022 Grant Year is the “Grant Amount Available for 2023.” If the verified Performance Report for the December 31, 2023 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to approximately \$20,000 per \$1,000,000 of Capital Investment made through December 31, 2023 (less the amount of Capital Investment for which the Company received a Grant Payment for the 2020, 2021 or 2022 Grant Years in accordance with the prior paragraphs), but taking into account cumulative additional Capital Investments of no more than \$4,500,000 plus any shortfall in Grant Years 2020, 2021 or 2022 from the

\$120,000,000 for which the Company may have sought a COF Grant disbursement in Grant Years 2020, 2021 or 2022. The amount of the COF Grant to be disbursed will be equal to such amount of additional cumulative Capital Investment multiplied by .02 (so, the maximum that may be disbursed for the 2023 Grant Year will be the Grant Amount Available for 2023). If the Company has qualified for less than the Grant Amount Available for 2023, the amount not paid (the “2023 Grant Rollover Amount”) will be rolled over to, and available for disbursement in, the next year.

The 2023 Grant Rollover Amount (if any) from the 2023 Grant Year is also the “Grant Amount Available for 2024.” If the verified Final Performance Report for the December 31, 2024 Grant Year indicates that the Company has achieved the Statutory Minimum Requirements, the Company will qualify for a disbursement of the COF Grant equal to approximately \$20,000 per \$1,000,000 of Capital Investment made through December 31, 2024 (less the amount of Capital Investment for which the Company received a Grant Payment for the 2020, 2021, 2022 or 2023 Grant Years in accordance with the prior paragraphs), but taking into account cumulative additional Capital Investments plus any shortfall in Grant Years 2020, 2021, 2022 or 2023 from the \$124,500,000 for which the Company may have sought a COF Grant disbursement in Grant Years 2020, 2021, 2022 or 2023. The amount of the COF Grant to be disbursed will be equal to such amount of additional cumulative Capital Investment multiplied by .02. The maximum that may be disbursed for the 2024 Grant Year will be the Grant Amount Available for 2024.

Any disbursements to the Company under this subsection (c) will be considered to be earned when paid, and will not be subject to any repayment or clawback.

(d) *Disbursement of the Portion of the COF Grant to be Disbursed for Improvements:* When a verified Performance Report indicates that the Company has achieved the Statutory Minimum Requirements (which is expected to be during Grant Year 2021), the Company will qualify for a disbursement of the COF Grant up to an aggregate amount of \$1,997,250. The Performance Report could be an annual Performance Report or could be an interim Performance Report submitted by the Company upon the achievement of the Statutory Minimum Requirements. Such amount will be available for disbursement to pay or reimburse the qualified costs of water and sewer extensions and improvements serving the Facility and the surrounding area (the “Improvements”). The party incurring the costs of the Improvements (whether the Locality, the Company, or a business partner of the Company) shall submit to VEDP (i) a copy of the invoice or other evidence of a pending or paid obligation related to the Improvements, and (ii) a certification that the payment or reimbursement requested is consistent with a budget for the Improvements approved by the Locality and the other party incurring the costs of the Improvements, or otherwise permitted by agreement by the Locality and the other party incurring the costs of the Improvements. VEDP will review the invoice or other evidence and certification, and, if approved, will directly pay the invoice to the vendor/contractor, or provide reimbursement to the payor, up to an aggregate amount of \$1,997,250. For this purpose, the Locality appoints VEDP as the agent of the Locality to disburse the proceeds of the COF Grant.

(e) *Disbursements:* Within 30 days after verification of a Performance Report, if any amount of COF Grant proceeds are available for disbursement, as determined in accordance with the foregoing calculations, VEDP will disburse that amount to the Locality, except as noted in

subsection (d). Except as noted in subsection (d), within 30 days after receipt of such amount, the Locality will disburse such COF Grant proceeds to the Company.

If any amount of COF Grant proceeds have not been earned by the Company, the amount not disbursed will be retained in the Fund and will be available for other economic development projects.

(f) *Use of the COF Grant Proceeds:* The Company will use the COF Grant proceeds disbursed in accordance with subsection (b) or (c) to pay or reimburse the cost of construction or build-out of buildings for the Facility, and for recruitment and training, all as permitted by Section 2.2-115(D) of the Virginia Code. The COF Grant proceeds disbursed in accordance with subsection (d) will be used to pay or reimburse the cost of the Improvements, which are utility extensions and improvements, whether on or off site, as permitted by Section 2.2-115(D) of the Virginia Code.

Section 4. Break-Even Point; State and Local Incentives.

(a) *State-Level Incentives:* VEDP has estimated that the Commonwealth will reach its “break-even point” by the Performance Date. The break-even point compares new revenues realized as a result of the Capital Investment and New Jobs at the Facility with the Commonwealth’s expenditures on discretionary incentives, including but not limited to the COF Grant. With regard to the Facility, the Commonwealth expects to provide discretionary incentives in the following amounts:

<u>Category of Incentive:</u>	<u>Total Amount</u>
COF Grant	\$5,700,000
VEDP Talent Accelerator Program (“VTAP”) (Approximate Value)	\$759,000
Port of Virginia Economic and Infrastructure Development Grant (“POV Grant”)	\$46,000

The proceeds of the COF Grant shall be used for the purposes described in Section 3(f). The proceeds of the Port Grant may be used by the Company for any lawful purpose. The VTAP represents the value to the Company of workforce development services expected to be provided by VEDP to the Company for recruitment and training.

(b) *Local-Level Incentives:* The Locality expects to provide the following incentives, as matching grants or otherwise, for the Facility by the Performance Date:

<u>Category of Incentive:</u>	<u>Total Amount</u>
Machinery and Tools Tax Grant (Estimated)	\$2,900,000

As noted in Section 2(f), the Governor of Virginia has waived the requirement for a full local match for this COF Grant.

The proceeds of the Locality's grant may be used by the Company for any lawful purpose.

(c) *Other Incentives:* This Agreement relates solely to the COF Grant. The qualification for, and payment of all State-Level Incentives and Local-Level Incentives, except for the COF Grant, will be governed by separate arrangements between the Company and the entities offering the other incentives.

Section 5. Company Reporting.

(a) *Performance Reporting:* The Company shall provide, at the Company's expense, in the form attached hereto as Exhibit A, detailed Performance Reports satisfactory to the Locality and VEDP of the Company's progress on the Targets. The Performance Reports are due by each April 1, commencing April 1, 2022, reflecting the Company's progress toward the Targets as of the prior December 31. Further, the Company shall provide such Performance Reports at such other times as the Locality or VEDP may require.

If the Company wishes to count as Capital Investments the capital expenditures made on its behalf by a lessor or a developer of the Facility, the Company is responsible for assembling and distributing the documentation necessary to verify the capital expenditures made on behalf of the Company.

(b) *Final Performance Report:* The Company shall provide, at the Company's expense, in the form attached hereto as Exhibit B, a detailed Final Performance Report satisfactory to the Locality and VEDP of the Company's achievement of the Targets as of the Performance Date. This Performance Date Report shall be filed within 90 days after the Performance Date.

Should the Company be unable to file the Final Performance Report within the 90-day timeframe, the Company may request a 60-day delay in filing the Final Performance Report. VEDP will require a \$3,000 fee, payable to VEDP, to process the request for the filing delay. Should the Company not file the Final Performance Report within the 90-day window nor request a filing delay (including payment of the required fee), or if the Company requests a filing delay but does not file the Final Performance Report prior to the new filing deadline, VEDP will withhold any COF Grant payment that might otherwise be due and all rights of the Company under this Agreement will automatically terminate.

(c) *Virginia Corporate Income Tax Information:* With each such Performance Report or Final Performance Report, the Company shall report to VEDP the amount paid by the Company (or for a pass-through entity, by its shareholders, members or partners) in the prior calendar year in Virginia corporate (or for a pass-through entity, personal) income tax. VEDP hereby represents to the Company that it considers such information to be confidential proprietary information that is exempt from public disclosure under the Virginia Freedom of Information Act and that such

information will be used by VEDP solely in calculating aggregate return on invested capital analyses for purposes of gauging the overall effectiveness of economic development incentives.

Section 6. Verification of Targets.

(a) *Verification of Capital Investment:* The Company hereby authorizes the Locality, including the Locality's Commissioner of the Revenue and Treasurer, to release to VEDP the Company's real estate tax, business personal property tax and machinery and tools tax information. Such information shall be marked and considered confidential and proprietary and shall be used by VEDP solely for verifying satisfaction of the Capital Investment Target. If the Locality, the Office of the Commissioner of the Revenue or the Office of the Treasurer should require additional documentation or consents from the Company to access such information, the Company shall promptly provide, at the Company's expense, such additional documentation or consents as the Locality or VEDP may request. In accordance with Virginia Code Section 58.1-3122.3, VEDP is entitled to receive the Company's real estate tax, business personal property tax and machinery and tools tax information from the Locality's Commissioner of the Revenue.

(b) *Verification of New Jobs and Wages:* The Company must submit a copy of its four most recent Employer's Quarterly Tax Reports (Form FC-20) with the Virginia Employment Commission with each Performance Report. The forms shall be marked and considered confidential and proprietary and shall be used by VEDP solely for verifying satisfaction of the New Jobs Target. In accordance with Virginia Code Section 60.2-114, VEDP is entitled to receive the Company's employment level and wage information from the Virginia Employment Commission.

The Company agrees that it will report to the Virginia Employment Commission with respect to its employees at a facility-level, rather than at the company-level.

(c) *Additional Documentation:* In addition to the verification data described above, in the sole discretion of the Locality or VEDP, the Locality or VEDP, may each require such other documentation or audits as may be required to properly verify the Capital Investment or New Jobs.

Section 7. Repayment Obligation.

(a) *If Statutory Minimum Eligibility Requirements are Not Met:* Section 2.2-115 of the Virginia Code requires that the Company achieve both of the Statutory Minimum Requirements in order to be eligible for the COF Grant. If any portion of the COF Grant is disbursed under Section 3(d), but the Company fails to meet both of the Statutory Minimum Requirements as of the Performance Date, the Company will be considered to have breached this Agreement and the Company must repay to VEDP all of the proceeds of the COF Grant disbursed under Section 3(d).

(b) *If Statutory Minimum Eligibility Requirements are Met:* The provisions of this subsection (b) shall become applicable only if the Company has met the Statutory Minimum Requirements, and any COF Grant proceeds have been disbursed under Section 3(d) prior to the

Performance Date. The \$1,997,250 of the COF Grant available under Section 3(d) is to be allocated as \$798,900 (40%) for the Company's Capital Investment Target, and \$1,198,350 (60%) for the Company's New Jobs Target.

(c) If the Company has not met either or both of its Targets as of the Performance Date, the Company shall repay to VEDP that part of the COF Grant previously disbursed under Section 3(d) that is proportional to the Target or Targets for which there is a shortfall. For example, if as of the Performance Date, \$1,997,250 of the COF Grant proceeds have been disbursed under Section 3(d), but only \$74,700,000 of the Capital Investment has been made and retained (reflecting achievement of 60% of the Capital Investment Target), and only 93 New Jobs have been created and Maintained (reflecting achievement of 50% of the New Jobs Target), the Company shall repay to VEDP \$319,560, reflecting 40% of the \$798,900 of the COF Grant proceeds disbursed under Section 3(d) allocated to the Capital Investment Target, *plus* \$599,175, reflecting 50% of the \$1,198,350 of the COF Grant proceeds disbursed under Section 3(d) allocated to the New Jobs Target, for a total repayment amount of \$918,825. These amounts represent the percentages of the shortfall at the Performance Date from the expected amount of Capital Investment and expected number of New Jobs, each multiplied by the portion of the COF Grant disbursed under Section 3(d) allocated to that Target.

(d) *Determination of Inability to Comply:* If the Locality or VEDP shall determine at any time prior to the Performance Date (a "Determination Date") that the Company is unable or unwilling to meet and Maintain its Targets by and through the Performance Date, and if the Locality or VEDP shall have promptly notified the Company of such determination, the Company must repay to VEDP all of the COF Grant proceeds, if any, previously disbursed under Section 3(d). Such a determination will be based on such circumstances as a filing by or on behalf of the Company under Chapter 7 of the U.S. Bankruptcy Code, the liquidation of the Company, an abandonment of the Facility by the Company or other similar significant event that demonstrates that the Company will be unable or is unwilling to satisfy the Targets for the COF Grant. In such event, this Agreement will be terminated, and the amount not yet disbursed under Section 3 will be retained in the Fund and will become available for other economic development projects.

(e) *Repayment:* Any repayment from the Company required by this Section 7 shall due from the Company to VEDP within 90 days after the Performance Date or the Determination Date, as applicable. Any moneys repaid by the Company to VEDP shall be redeposited by VEDP into the Fund. The Locality shall use its best efforts to recover such funds, including legal action for breach of this Agreement. In any such matter, the Company shall be liable to pay interest, administrative charges, attorneys' fees and other applicable fees. The Locality shall have no responsibility for the repayment of any sums payable by the Company hereunder unless said sums have been received by the Locality from the Company.

(f) *Failure to Repay:* If any repayment due from the Company pursuant to this Section 7 is not made by the Company when due, the Board may determine that further collection action is required, and the Board may refer the matter to the Office of the Attorney General (the "OAG") for collection pursuant to Section 2.2-518 of the Virginia Code. In such event, by their signatures below, the Locality will be deemed to have assigned to the Commonwealth all of their rights, title and interest in and to this Section 7. In any matter referred to the OAG for collection,

the Company shall be liable to pay interest, administrative charges, attorneys' fees and other applicable fees. Interest on any outstanding repayment referred to the OAG shall accrue at the rate set forth in Section 6.2-301 A. of the Virginia Code (currently 6.0% per year) for the period from the Performance Date or the Determination Date, as applicable, until paid.

Section 8. Notices. Formal notices and communications between the parties shall be given either by (i) personal service, (ii) delivery by a reputable document delivery service that provides a receipt showing date and time of delivery, (iii) mailing utilizing a certified or first class mail postage prepaid service of the United States Postal Service that provides a receipt showing date and time of delivery, or (iv) delivery by electronic mail (email) with transmittal confirmation and confirmation of delivery, addressed as noted below. Notices and communications personally delivered or delivered by document delivery service shall be deemed effective upon receipt. Notices and communications mailed shall be deemed effective on the second business day following deposit in the United States mail. Notices and communications delivered by email shall be deemed effective the next business day, not less than 24 hours, following the date of transmittal and confirmation of delivery to the intended recipient. Such written notices and communications shall be addressed to:

if to the Company, to:

Civica, Inc.
2912 W. Executive Pkwy
Lehi, Utah 84043
Email: martin@civicarx.org
Attention: President and CEO

with a copy to:

Civica, Inc.
2912 W. Executive Pkwy
Lehi, Utah 84043
Email: jennifer.spalding@civicarx.org
Attention: General Counsel

if to the Locality, to:

City of Petersburg, Virginia
135 N. Union St.
Petersburg, VA 23803
Email: city.manager@petersburg-va.org
Attention: City Manager

with a copy to:

City of Petersburg, Virginia
135 N. Union St.
Petersburg, VA 23803
Email: awilliams@petersburg-va.org
Attention: City Attorney

if to VEDP, to:

Virginia Economic Development Partnership
One James Center, Suite 900
901 East Cary Street
Richmond, Virginia 23219
Email: moret@vedp.org
Attention: President and CEO

with a copy to:

Virginia Economic Development Partnership
One James Center, Suite 900
901 East Cary Street
Richmond, Virginia 23219
Email: smcnoch@vedp.org
Attention: General Counsel

Section 9. Miscellaneous.

(a) *Entire Agreement; Amendments:* This Agreement constitutes the entire agreement among the parties hereto as to the COF Grant and may not be amended or modified, except in writing, signed by each of the parties hereto. This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors and assigns. The Company may not assign its rights and obligations under this Agreement without the prior written consent of the Locality and VEDP.

(b) *Governing Law; Venue:* This Agreement is made, and is intended to be performed, in the Commonwealth and shall be construed and enforced by the laws of the Commonwealth. Jurisdiction and venue for any litigation arising out of or involving this Agreement shall lie in the Circuit Court of the City of Richmond, and such litigation shall be brought only in such court.

(c) *Counterparts:* This Agreement may be executed in one or more counterparts, each of which shall be an original, and all of which together shall be one and the same instrument.

(d) *Severability:* If any provision of this Agreement is determined to be unenforceable, invalid or illegal, then the enforceability, validity and legality of the remaining provisions will not in any way be affected or impaired, and such provision will be deemed to be restated to reflect the original intentions of the parties as nearly as possible in accordance with applicable law.

(e) *Attorney's Fees:* Except as provided in Section 7, attorney's fees shall be paid by the party incurring such fees.

(f) *Force Majeure:* Notwithstanding the foregoing provisions of this Agreement, if the Company does not achieve a Target or take any action required under this Agreement because of an "Event of Force Majeure" (as defined below), the time for achieving the applicable Target or taking such action will be extended day-for-day by the delay in meeting the applicable Target or taking such action caused by the Event of Force Majeure. "Event of Force Majeure" means without limitation, any of the following: acts of God; strikes, lockouts or other industrial disturbances; act of public enemies; orders of any kind of the government of the United States of America or of the Commonwealth or any of their respective departments, agencies, political subdivisions or officials, or any civil or military authority; insurrections; riots; epidemics; pandemics; landslides; lightning; earthquakes; fires; hurricanes; tornadoes; storms; floods; washouts; droughts; arrests; restraint of government and people; civil disturbances; explosions; breakage or accident to machinery, transmission pipes or canals not caused by the Company; partial or entire failure of utilities; or any other cause or event not reasonably within the control of the Company.

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IN WITNESS WHEREOF, the parties hereto have executed this Performance Agreement as of the date first written above.

CITY OF PETERSBURG, VIRGINIA

By _____
Name: _____
Title: _____
Date: _____

CIVICA, INC.

By _____
Name: _____
Title: _____
Date: _____

**VIRGINIA ECONOMIC
DEVELOPMENT PARTNERSHIP
AUTHORITY**

By _____
Name: _____
Title: _____
Date: _____

- Exhibit A: Performance Report Form
- Exhibit B: Final Performance Report Form

**PERFORMANCE REPORT
COMMONWEALTH'S DEVELOPMENT OPPORTUNITY FUND**

PROJECT SUMMARY:

Project	
Location	
Amount of Grant	
Performance Reporting Period	
Performance Date	

PROJECT PERFORMANCE⁴:

Performance Measurement	Target	As of _____	% Complete
New Jobs (over _____ baseline) ¹			
Confidence level target will be reached by Performance Date shown above (check one)	High <input type="checkbox"/>	Moderate <input type="checkbox"/>	Low <input type="checkbox"/>
Capital Investment (provide breakdown below) ²			
Confidence level target will be reached by Performance Date shown above (check one)	High <input type="checkbox"/>	Moderate <input type="checkbox"/>	Low <input type="checkbox"/>
Average Annual Wage			N/A
Confidence level target will be reached by Performance Date shown above (check one)	High <input type="checkbox"/>	Moderate <input type="checkbox"/>	Low <input type="checkbox"/>
Standard Fringe Benefits (check one)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A
Virginia Corporate Income Tax Paid in Prior Calendar Year³	\$		

¹Data will be verified using Virginia Employment Commission records. Attach the company's four most recent Quarterly Tax Reports (Form FC-20) filed with the Virginia Employment Commission.

² Data will be verified with locality records.

³This confidential information is protected from disclosure pursuant to § 2.2-3705.6 of FOIA.

⁴Final, actual performance will be reported on VEDP's public reporting website.

Capital Investment Breakdown	Amount
Land	\$
Land Improvements	\$
New Construction or Expansion	\$
Renovation or Building Up-fit	\$
Production Machinery and Tools	\$
Furniture, Fixtures and Equipment	\$
Other	\$
Total	\$

COMMENTS:

Discuss project status, including the current level of new jobs and capital investment, progress on targets, changes or likely changes in project's nature that may impact achievement of targets, and other information relevant to project performance. If the project is not on track to meet targets, please provide an explanation.

TO BE CERTIFIED BY AN OFFICER OF THE COMPANY:

I certify that I have examined this report and to the best of my knowledge and belief, it is true, correct, and complete.

Company: _____

Submitted By: _____
Signature of Official

Name: _____
Print Name

Title: _____

Date: _____

Please return to:

Kim Ellett, Incentives Compliance Manager, Virginia Economic Development Partnership,
804.545.5618, kellett@vedp.org

FINAL PERFORMANCE REPORT COMMONWEALTH'S DEVELOPMENT OPPORTUNITY FUND

PROJECT SUMMARY:

Project	
Location	
Amount of Grant	
Performance Date	

PROJECT PERFORMANCE:¹

Performance Measurement	Target	As of _____, 20__	% Complete
New Jobs (over ___ baseline) ²			
Capital Investment (provide breakdown below) ³			
Average Annual Wage			N/A
Standard Fringe Benefits			
Virginia Corporate Income Tax Paid in Prior Calendar Year⁴	\$		

Capital Investment Breakdown	Amount
Land	\$
Land Improvements	\$
New Construction or Expansion	\$
Renovation or Building Up-fit	\$
Production Machinery and Tools	\$
Furniture, Fixtures and Equipment	\$
Other	\$
Total	\$

¹Final, actual performance will be reported on VEDP's public reporting website.

² Attach the company's four most recent Quarterly Tax Reports (Form FC-20) filed with the Virginia Employment Commission.

³ Data will be verified using records from the Commissioner of the Revenue and invoices.

⁴This confidential information is protected from disclosure pursuant to § 2.2-3705.6 of FOIA

LOCAL MATCH:

Goal	
Actual	

COMMENTS:

Discuss Project status or the importance of the Project to the locality and region.

TO BE CERTIFIED BY AN OFFICER OF THE COMPANY:

I certify that I have examined this report and to the best of my knowledge and belief, it is true, correct, and complete.

Company: _____

Submitted By: _____
Signature of Official

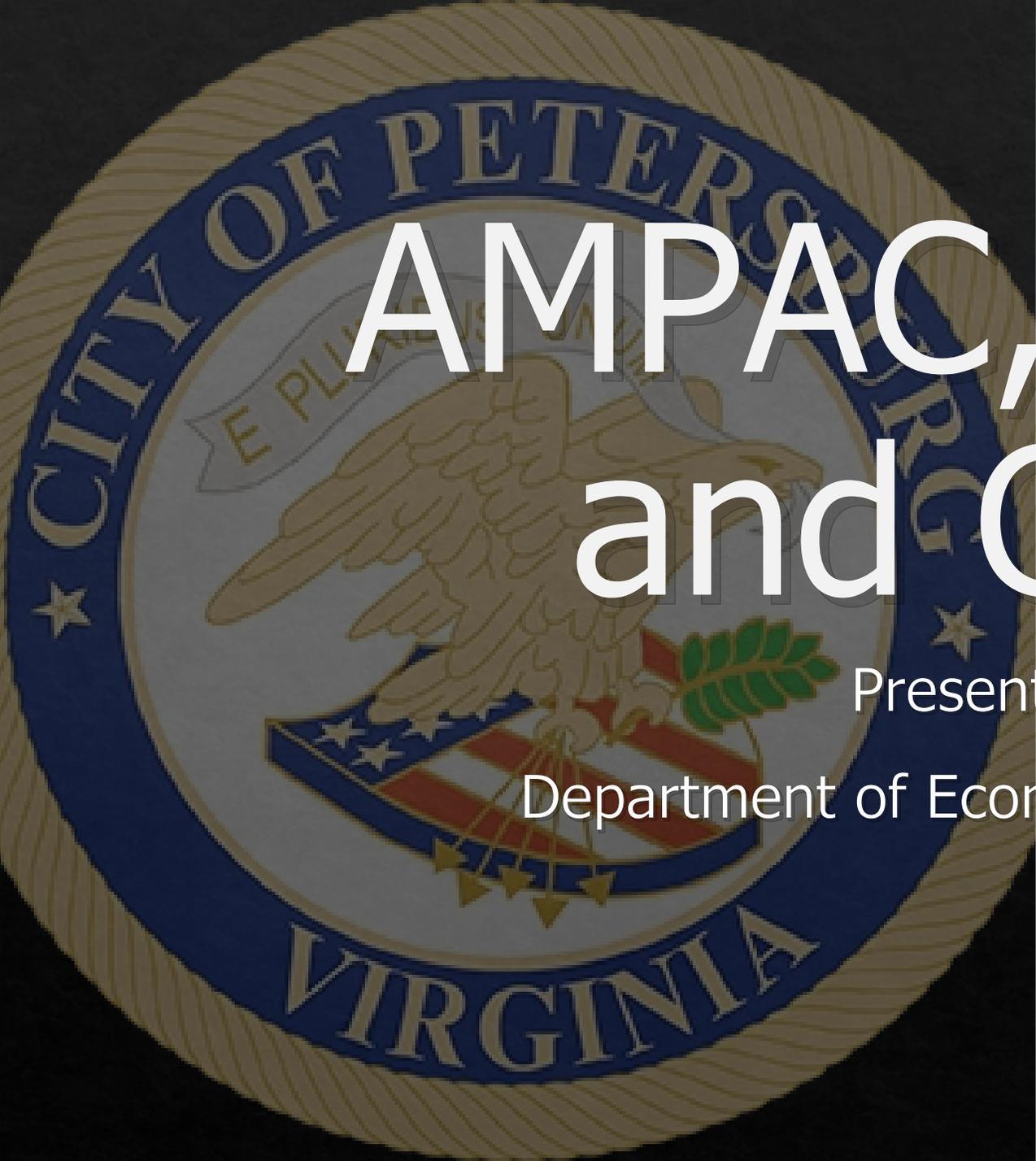
Name: _____
Print Name

Title: _____

Date: _____

Please return to:

Kim Ellett, Incentives Compliance Manager, Virginia Economic Development Partnership,
804.545.5618, kelllett@vedp.org

The seal of the City of Petersburg, Virginia, is a circular emblem. It features a central eagle with its wings spread, perched on a shield with a red and white striped field and a blue chief with stars. The eagle is surrounded by a blue ring containing the text "CITY OF PETERSBURG" at the top and "VIRGINIA" at the bottom, separated by two stars. A banner across the eagle's chest contains the Latin motto "E PLURIBUS UNUM".

AMPAC, Phlow, and Civica

Presented by:

Department of Economic Development

Introduction

In the following presentation,

Summary of COVID-19 and the medical supply chain issues.

Summary of the companies involved.

Summary of the pharmaceutical manufacturing process.

Summary of events thus far.

Summary of infrastructure deficiencies and division of responsibility.

Summary of the benefits, costs, and procedures for project financing.

Summary of the MOU and COF Performance Agreement.

Conclusion: The City Manager is requesting from Council authorization to execute the MOU between the City and Phlow and the COF Performance Agreement between the City, VEDP, and Civica.

Background Information on COVID-19

Coronavirus disease 2019 (COVID-19) was identified in Wuhan, China in December 2019 and developed into a global pandemic in early 2020.

COVID-19 is primarily transmitted from person-to-person through respiratory droplets. These droplets are released when someone with COVID-19 sneezes, coughs, or talks. Infectious droplets can land in the mouths or noses of people who are nearby or possibly be inhaled into the lungs.

As of mid February 2021, the virus has infected more than 110 million and caused 2.4 million deaths globally. In the U.S., 27.8 million Americans have been infected (25.35% of global cases) and more than 487,855 have died (20.13% of global deaths) and has dragged the economy into the worst recession since World War II.

Background Information on COVID-19

A key factor in COVID-related complications and deaths is a lack of available medicines to fight COVID-19 symptoms and treat cases that require ventilators. Even before COVID-19, there has already been a shortage of medicines, but this pandemic has further stressed an already strained medical supply.

A lack of domestic production of the ingredients to make these medicines has hurt the American people. With COVID-19, foreign producers of these ingredients have had factory closures and have been hoarding their own supply for their own citizens, leaving Americans at risk.

To combat this, companies have been started to address this deficiency.... Among them are AMPAC Fine Chemicals, Phlow and Civica Rx.



AMPAC Fine Chemicals (AFC), an SK pharmteco company, is a United States-based, custom manufacturer of active pharmaceutical ingredients (APIs, Drug Substances) and registered intermediates. AFC solves problems through technology and innovation to reliably deliver quality products that save and improve lives. With over 75 years of experience, AFC has mastered challenging chemistries, enabling us to provide the highest quality services to their customers. Their three integrated facilities are located in California, Texas, and Virginia.



Phlow is a public benefit corporation founded to manufacture affordable, high quality, essential drugs in the United States. To help the United States secure its own strategic drug reserve, Phlow uses novel and innovative methods in the drug manufacturing industry to reduce the U.S.'s dependency on foreign supply chains. Established in spring of 2020, they are headquartered in Richmond and developing facilities in Petersburg.



Civica Rx is a non-profit focused on making essential generic medications accessible and affordable. Civica Rx partners with healthcare systems to ensure that generic drugs are affordable and available as soon as possible. Civica Rx is focused on bringing value — in supply, quality, and price to the market. Established in 2018, they are headquartered in Lehi, Utah.



Dr. Aslam Malik
CEO - AMPAC

AMPAC Fine Chemicals, who was purchased by SK Holdings in 2018, established their Virginia operations in 2016 when they purchased the former Boehringer Ingelheim (BI) facility in Petersburg. BI opened the facility in 2009 and closed it in 2014. UniTao purchased it in late 2014, but never opened the facility and sold it in 2015.

Dr. Aslam Malik, who became CEO of AMPAC in 2005, cited the local workforce as a major factor in acquiring the former BI facility.

“I knew the people here. I knew this area had some very qualified people... If you really want to bet on something, you bet on the people.”

AMPAC’s Virginia facility is an Active Pharmaceutical Ingredient (API) manufacturing facility. This facility encompasses 197 acres and has 45,000 gallons (170.34 m³) of total capacity.

Phlow Board of Directors – How it all Connects



Eric Edwards, MD PhD
Co-Founder & CEO -
Phlow



Frank Gupton, PhD
Co-Founder – Phlow
CEO – Medicines for All



Martin Van Trieste
President & CEO – Civica
Rx



Phlow's \$354 million Grant

Awarded a four-year federal contract worth \$354 million. The contract has an option to extend to a total value of \$812 million over 10 years.

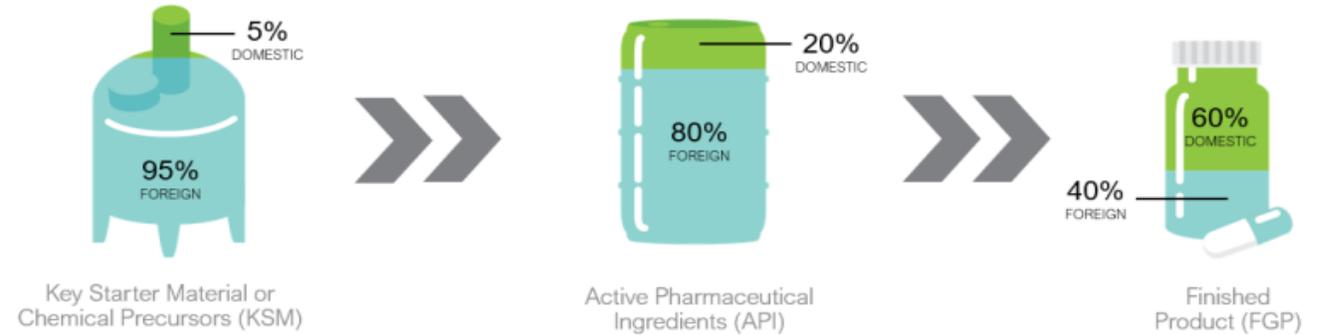
The main objective is to build up a strategic reserve of drug ingredients that can be used to make essential, generic drugs domestically, rather than abroad – an issue the coronavirus has brought to the forefront.

Phlow will produce the drugs being used to treat patients with COVID-19, as well as vaccines, antibiotics, pain relievers, and ingredients for generic, over-the-counter medicines.

“These are a lot of highly skilled people, so it’s really going to add to the tax base for the region, in our labs as well as down at Petersburg,” - Frank Gupton, PhD.
Co-Founder of Phlow.

Deficiencies in U.S. Pharmaceutical Production

The U.S. is dependent on foreign sources for our supply of many of the most essential medications.



In the United States, **there is a lack of domestic production** of the raw and intermediate materials used to make medicine.

Only **5% of the raw materials**, known as Key Starter Materials, are made in the U.S.

Only **20% of intermediate materials**, known as Active Pharmaceutical Ingredients, are made in the U.S.

Only **60% of the completed medicines**, known as Finished Products, are made in the U.S.

Key Starter Material (KSM's)

Before any pharmaceuticals are made, raw materials are required.

These raw materials include plant matter, microorganisms, metals, commercially available chemical ingredients, and other propriety ingredients.

These raw materials are purified through chemical processing to become human-grade Key Starter Materials (KSM's).

Key Starter Materials are processed and synthesized to become Active Pharmaceutical Ingredients (API's).

Active Pharmaceutical Ingredients (API's)

Active Pharmaceutical Ingredients (API's) are the intermediate ingredients that make drugs ranging from aspirin to COVID-19 medication.

With only 20% of API's made in the U.S., domestic production of API's are key to U.S. health security.

The U.S. Government maintains a strategic reserve of medicines, but not API's.

API's have a significantly longer storage life than consumer-ready medicines.

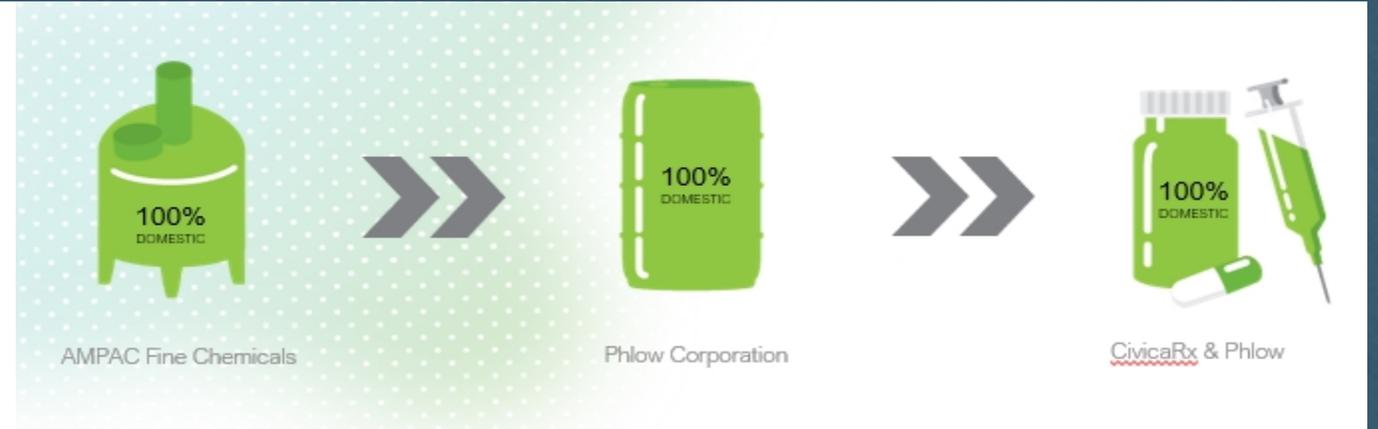
Examples of API's include:

- Acetaminophen (pain relief)

- Resveratrol (cancer, inflammatory, blood sugar)

- Paclitaxel (cancer)

The Strategic Active Pharmaceutical Ingredient Reserve (SAPIR)



SAPIR is revolutionary technology utilized by Phlow to create a strategic reserve of KSM's and API's to protect Americans from global upheaval.

SAPIR will be the only strategic reserve of KSM's and API's in the U.S. This is similar to the Strategic Reserve for Petroleum.

Utilizing the \$354 million in federal funding, Phlow and partners will work to ensure our pharmaceutical supply chain is safe and stable.

This is a unique opportunity for the AMPAC campus to be home to a large portion of the domestic pharmaceutical supply chain and SAPIR.

Timeline of Events to the Present

Early 2020: Phlow is founded in Richmond, VA.

May 2020: Phlow wins a \$354 million, 4-year grant from U.S. Department of Health and Human Services to domesticate the U.S.'s pharmaceutical supply chain in the face of supply upheaval in the face of COVID-19.

June 2020: Phlow and partners and City of Petersburg Team meet to discuss this opportunity. Petersburg and Virginia Economic Development Partnership (VEDP) discuss details, outline, and incentives for Project Tube. NDA's signed.

July 2020: VEDP proposes Commonwealth Opportunity Fund (COF) – requires a match; Machinery & Tools (M&T). Conversations with AMPAC, Phlow, Civica, VEDP, and City. Meetings on infrastructure begin.

August 2020: Project Tube meeting regarding utility and infrastructure needs. Phlow and City begin weekly site planning and infrastructure meetings.

September 2020: City negotiations with VEDP and Phlow regarding infrastructure and MOU. Council passes ordinance subdividing AMPAC land into two unique tax parcels. Council passes ordinance amending the Technology Zone to extend to the new parcel.

October 2020: Phlow purchases the newly created parcel from AMPAC.

January 2021: Governor Northam announces the Civica Rx development.



INFRASTRUCTURE

Project Tube

"3 Working as 1"

Phlow is working with Civica to develop a new facility on land they purchased from AMPAC. The land (also known as the Utah Site) is located across from AMPAC's current facility in Petersburg.

The two campuses will include AMPAC, Phlow and Civica's Virginia operations.

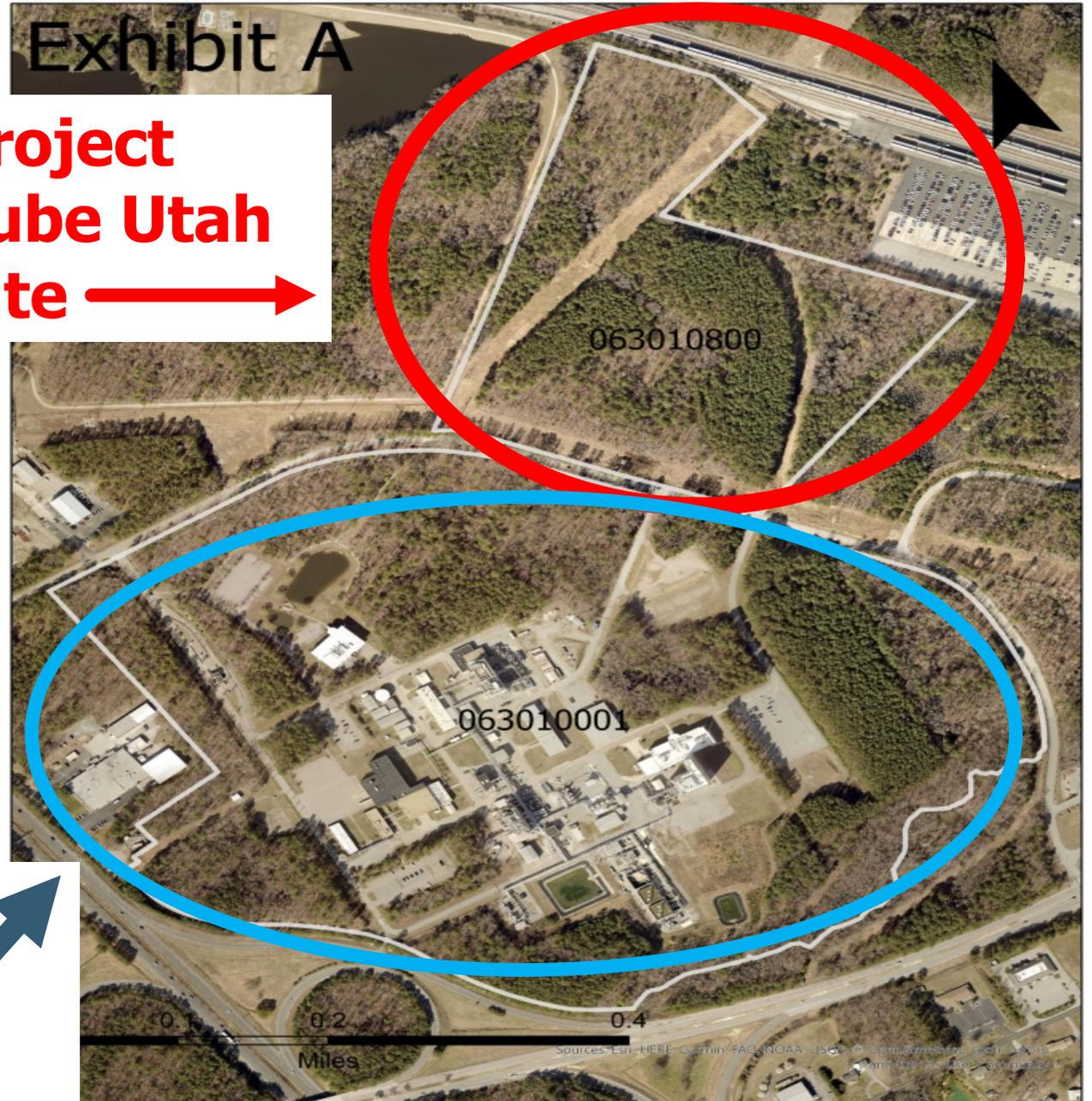
Together, these three companies make up **Project Tube**.

Exhibit A

**Project
Tube Utah
Site** →

Project Tube
"3 Working as 1"

**Current
AMPAC
Facility** ↗



Infrastructure Deficiencies

The land at 2821 Normandy Drive (Utah Site) is undeveloped land.

Currently existing infrastructure in the area is sufficient for existing businesses in the area, but insufficient for the demands of Project Tube.

To upgrade the infrastructure for Project Tube, two Phases of upgrades will take place.

- Phase One will begin immediately

- Phase Two will need to be completed within 3 years

Phase One is the priority – but for sake of convenience and completion, Phase Two items and cost have been included in the following slides to provide a holistic picture of Project Tube.

City of Petersburg

Summary of Southeast Petersburg Water and
Sewer Infrastructure Upgrades for Project Tube

Construction Timeline

Phase One - Immediate needs

Anticipated Start _____ Finish

Phase One Infrastructure Needs

12" Water Main on Normandy Drive: \$1,770,000

Phlow Private Wastewater Pump Station: \$870,000

Phlow Wastewater Force Main to Poor Creek
Interceptor: \$960,000

Total Phase One: \$3,600,000

Phase One Responsibilities

City Financial Responsibilities

12" Water Main on Normandy Drive (\$1.77 mil)*

Wastewater Force Main to Poor Creek
Interceptor (\$230k)*

City Construction Responsibilities

None

Phlow and Project Tube Financial Responsibilities

Private Wastewater Pump Station (\$870k)

Wastewater Force Main to Poor Creek
Interceptor (\$730k)

Phlow and Project Tube Construction Responsibilities

12" Water Main

Wastewater Force Main to Interceptor

*The \$2 approx million of the VEDP Commonwealth Opportunity Fund represents the City's only financial obligations for Phase One infrastructure

Phase Two Infrastructure Needs

2.0 MMG Elevated Water Storage Tank: \$8,340,000

Water Booster Pump Station: \$1,270,000

Pressure Reducing Value Vaults: \$440,000

Poor Creek Pump Station Improvements:
\$3,200,000

Poor Creek Force Main Relocation: \$13,560,000

Total Phase Two: \$26,810,000

Phase Two Responsibilities

City Financial Responsibilities

Securing state funding*

City Construction Responsibilities

None

Phlow and Project Tube Financial Responsibilities

None (Will assist us in securing state funding)

Phlow and Project Tube Construction Responsibilities

Water Storage Tank, Booster Pump Station, Pressure Reducing Valve Vaults, Pump Station Improvements, Force Main Relocation

*The City's financial commitments are limited as described in paragraph D(25) of the "Infrastructure Development Agreement between the City and Phlow Corp. regarding 2821 Normandy Drive."

Phases One & Two

Phase One: \$3,600,000

12" Water Main on Normandy Drive: \$1,770,000

Phlow Private Wastewater Pump Station: \$870,000

Phlow Wastewater Force Main to Poor Creek Interceptor: \$960,000

Phase Two: \$26,810,000

2.0 MMG Elevated Water Storage Tank: \$8,340,000

Water Booster Pump Station: \$1,270,000

Pressure Reducing Value Vaults: \$440,000

Poor Creek Pump Station Improvements: \$3,200,000

Poor Creek Force Main Relocation: \$13,560,000

**Total Phase One and Phase Two cost:
\$30,410,000**



FINANCIALS

Commonwealth Opportunity Fund

The Virginia Economic Development Partnership (VEDP) was created in 1995 by the Virginia General Assembly to “encourage, stimulate, and support development and expansion of the Commonwealth’s economy.”

Through VEDP’s Commonwealth Opportunity Fund (COF), \$1,997,250 is being earmarked to be contributed towards Petersburg infrastructure to securing this opportunity.

Administered by VEDP, the COF serves as a final resource for Virginia in the face of serious competition from other states or countries. Requires a match by the respective locality; a partial exception was made for Petersburg.

VEDP will be contributing an additional \$3.7 million directly to Civica for job creation and capital investment to assist in securing this opportunity.

Total VEDP Contribution to Project Tube: \$5.7 million

Machinery & Tools

The Machinery & Tools Tax (M&T) is a local tax that taxes production-related machinery & tools used in manufacturing. In Petersburg, the machinery & tools tax rate is \$3.80 per \$100 assessed value.

The Code of Virginia authorizes the creation of Technology Zones which can provide tax incentives to stimulate economic development.

To secure Project Tube and match the VEDP incentive package of \$5.7 million, Petersburg will be utilizing a credit for up-to \$2.9 million generated in M&T tax generated from taxes from Civica.

Total Petersburg Contribution to Project Tube: \$2.9 million

Background information on Petersburg Technology Zone

The City Council finds that certain classes of high technology business activities have special economic significance to the city due to the nature of the technology and their potential for high growth in employment and capital investment.

The City Council further finds that the most appropriate method of encouraging location of new businesses and the expansion of certain existing classes of technology businesses is to create a technology zone with particular boundaries as designated herein and located on the east side of Interstate 95, and as authorized by the 1950 Code of Virginia, § 58.1-3850, as amended and Petersburg Code Chapter 38, Article IV, Section 38-90.

The City Council has determined that the establishment of this technology zone will improve economic conditions, hasten redevelopment, and benefit the welfare of its citizens.

City and Commonwealth Contribution for Project Tube

VEDP: \$5.7 million

\$3.7 million to Civica awarded for jobs and capital investment
\$1.997 million for Petersburg infrastructure

M&T: \$2.9 million

Total: \$8.6 million

Financial Benefits

Using Year 5 estimates, Petersburg stands to gain by Year 5

\$2,912,141.87 in Machinery and Tool tax

Exempted as part of Technology Zone M&T tax credit

\$3,483,907.21 in Real Estate tax

\$2,034,840.79 in Utility tax (Water and Sewer)

\$164,150.00 in Business Personal Property tax

Total Year 5 tax revenue (excluding M&T):

\$5,682,898

Yearly Revenue

Year 1: \$532,180.92

Year 2: \$ 1,249,012.83

Year 3: \$1,292,685.98

Year 4: \$1,304,509.13

Year 5: \$1,304,509.13

Avg Yearly Revenue (excluding M&T):

\$1,136,579.60

Additional Benefits

Using Year 5 estimates, Petersburg stands to gain by Year 5

156 Jobs - AMPAC

350 Jobs - Phlow

186 Jobs - Civica

Phlow grant could expand from \$354 million to \$812 million

This could bring in additional development, which would create more jobs and more revenue for Petersburg

2021 Legislative Assistance

Legislative assistance is critical to support Project Tube and the development of a pharmaceutical manufacturing cluster in Petersburg.

Currently, as of mid February, in the 2021 legislative session, in the Virginia House of Delegates, an amendment (item 114 #11h) to HB 1800 would dedicate **\$10 million** to develop Petersburg's Pharmaceutical Park infrastructure to further the development of the regional development cluster.

Please note, this \$10 million is contingent on the City pursuing and executing a Department of Environmental Quality – Virginia Clean Water Revolving Loan Fund to address sewer improvements.

This and future budget amendments are critical to financing Phase Two infrastructure developments.

Educational and Employment Opportunities

To be sure, not all of the immediate need jobs (such as Senior Chemists requiring advanced degrees) from these projects will go to City residents.

With these projects, there is a multiplier effect that can create additional jobs in different sectors in the community to support the increased demand.

Through educational partnerships, there are opportunities to train the Petersburg workforce to fill more accessible jobs

Junior Colleges: **Richard Bland, John Tyler**
Universities: **VSU, VCU**

The Medicines For All Institute at the VCU College of Engineering is officially integrated into Phlow via Dr. Gupton who is CEO of the Institute and a Co-Founder of Phlow and will provide a talent pipeline.



Memorandum of Understanding (MOU) and COF Performance Agreement

COF Performance Agreement Background

The Commonwealth Opportunity Fund (COF) Performance Agreement outlines responsibilities and obligations between the Commonwealth of Virginia, the City of Petersburg, and Civica Rx.

This COF Performance Agreement details the City's obligations, the Commonwealth's obligations, and Civica's obligations.

This COF Performance Agreement formalizes the financial incentives and investment (the \$5.7 million in Commonwealth funds, the \$2.7 million M&T grant tax credit from Petersburg, and the \$124.5 million and 186 jobs from Civica.)

This COF Performance Agreement is **required** to secure Civica in Petersburg.

MOU Background

Memorandum of Understanding (MOU) mutually outlines infrastructure responsibilities and obligations between Phlow and Petersburg on Project Tube.

This MOU acts as Petersburg's Performance Agreement to compliment VEDP's Performance Agreement with Civica.

MOU largely outlines financial and infrastructure responsibilities regarding Phase One.

This MOU details the City's obligations (VEDP COF funds + M&T credit) and Phlow's obligations (infrastructure construction).

The MOU ensures the City's obligations are limited to solely the M&T credit and the VEDP funds.

This MOU is critical to ensuring Project Tube and the Phase One infrastructure – **does not hold the City liable for anything regarding Phase Two without the consent of Council.**

Project Tube Next Steps

Site Plan Approval (Phases)	December 2020 February 2021 March 2021
Land Disturbance Permit Approval (Phases)	December 2020 February 2021 March 2021
Building Permit Approval (Phases)	December 2020 February 2021 March 2021
Infrastructure Construction Begins	February 2021
Approval of the COF Performance Agreement	March 2021
Approval of the MOU	March 2021
Facility Construction Begins	Spring 2021
Construction Completion	October 2021 – April 2023



SUMMARY

Summary

Only 20% of API's (Active Pharmaceutical Ingredients) are manufactured in the U.S.A.. API's are used to create the life-saving drugs, from aspirin to COVID-19 medication.

Phlow received \$354 million to manufacture API's and generic drugs domestically that could expand to \$812 million over 10 years and create 186 jobs from Civica over the next 36 months.

Phlow is working with AMPAC and Civica to meet the needs of their federal contract.

Petersburg is in a unique position to be home to the only national strategic reserve of pharmaceutical API's and a vast amount of the domestic manufacturing of API's and generic drugs.

Petersburg infrastructure needs substantial renovations and upgrades to meet the demands of this once in a lifetime opportunity.

Summary cont.

Phase One construction is the primary focus of Petersburg to secure Project Tube.

Phase One will cost \$3.6 million.

\$2 million from VEDP COF will cover Petersburg's Phase One obligations.

MOU outlines responsibilities of Phlow and Petersburg and protects the City from financial obligations beyond M&T credit and VEDP COF funds.

Project Tube (AMPAC, Phlow, Civica) will bring a world-class pharmaceutical manufacturing park to Petersburg.

Next step for City Council is to authorize the City Manager to execute the MOU between the City and Phlow and to execute the Performance Agreement between the City, VEDP, and Civica.

Questions & Comments?

PERFORMANCE AGREEMENT RESOLUTION

A Resolution authorizing the City Manager to execute a PERFORMANCE AGREEMENT among the CITY OF PETERSBURG, VIRGINIA (the "City"), a municipal corporation of the Commonwealth of Virginia (the "Commonwealth"), CIVICA, INC., a Delaware nonprofit, nonstock corporation authorized to transact business in the Commonwealth (the "Company"), and the VIRGINIA ECONOMIC DEVELOPMENT PARTNERSHIP AUTHORITY ("VEDP"), a political subdivision of the Commonwealth regarding a Commonwealth's Development Opportunity Fund (COF) grant

WHEREAS, the City of Petersburg has been awarded a grant of and expects to receive \$5,700,000 (the "COF Grant") from the Commonwealth's Development Opportunity Fund (the "Fund") through VEDP for the purpose of inducing the Company to construct, equip, improve, and operate a pharmaceutical manufacturing and processing facility in the Locality (the "Facility"), thereby making a significant Capital Investment, and creating and Maintaining a significant number of New Jobs, as such capitalized terms are hereinafter defined; and

WHEREAS, except as noted in the Performance Agreement, the City is willing to provide the funds to the Company for the use of the Company for the purposes described herein, provided that the Company meets certain criteria relating to Capital Investment and New Jobs; and

WHEREAS, the City, the Company, and VEDP desire to set forth their understanding and agreement as to the payout of the COF Grant, the use of the COF Grant proceeds, the payment of the COF Grant, and the obligations of the Company regarding Capital Investment and New Jobs; and

WHEREAS, the construction, equipping, improvement, and operation of the Facility will entail a capital expenditure by or on behalf of the Company of approximately \$124,500,000, of which approximately \$60,700,000 will be invested in machinery and tools, approximately \$1,000,000 will be invested in furniture, fixtures and business personal property, and approximately \$62,800,000 will be invested in the construction, and up-fit of the buildings for the Facility; and

WHEREAS, the construction, equipping, improvement, and operation of the Facility will further entail the creation and Maintenance of 186 New Jobs at the Facility; and

WHEREAS, the stimulation of the additional tax revenue and economic activity to be generated by the Capital Investment and New Jobs constitutes a valid public purpose for the expenditure of public funds and is the animating purpose for the COF Grant.

NOW, THEREFORE BE IT RESOLVED THAT, in consideration of the foregoing, the mutual benefits, promises and undertakings of the parties to this Agreement, and other good and valuable consideration, the City of Petersburg City Council authorizes the City Manager to execute the Performance Agreement associated with the Commonwealth's Development Opportunity Fund grant for the Pharmaceutical Manufacturing Development.



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager
Lionel Lyons, Deputy City Manager of Development and Operations

FROM: Reginald Tabor

RE: **A Resolution approving the issuance by the Petersburg Redevelopment and Housing Authority of its multifamily housing revenue bonds for the acquisition, construction, renovation, rehabilitation and equipping of the approximately 98-unit Dorsey Flats Apartments multifamily housing facility located in the City of Petersburg, Virginia.**

PURPOSE: To consider a resolution approving the issuance by the Petersburg Redevelopment And Housing Authority of its multifamily housing revenue bonds for the acquisition, construction, renovation, rehabilitation and equipping of the approximately 98-unit Dorsey Flats Apartments multifamily housing facility located in the City of Petersburg, Virginia.

REASON: To consider a resolution in accordance with Code requirements and City Council procedures.

RECOMMENDATION: It is recommended that the City Council adopts the attached resolution.

BACKGROUND: The City Council adopted 20-ORD-17 on April 28, 2020, approving and authorizing the City Manager to sell 1000 Diamond Street to PB Petersburg Owner LLC to construct multifamily residential development that requires: 1) occupancy limited to senior citizens and veterans; 2) no more than half of the apartments will be two-bedrooms and the remainder one-bedroom units; 3) the promises made by PB Petersburg Owners LLC in agenda item 11f are kept and 4) the owner will accept the current assessment for the next three years.

The City Council also adopted 20-ORD-40, on September 1, 2020, authorizing the City Manager to execute a purchase agreement toward the sale of forty-nine (49) parcels of city owned property in Ward 5 to PB Petersburg, LLC, with the exclusion of 522 Hinton Street, 516 Hinton Street, 539 West Washington Street, 52 North Carolina Avenue, 980 South Sycamore Street, and 246 St. Luke Street.

The Petersburg Redevelopment and Housing Authority, on January 25, 2021 considered and approved the application of PB Petersburg Owner II LLC, a Virginia limited liability company (the "Borrower"), requesting that the Authority issue up to \$15,000,000 of its revenue bonds (the "Bonds") to assist the Borrower or an affiliated entity in financing or refinancing a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, or such other name as agreed to by the Borrower and the Authority, as well as related community space and recreation facilities (collectively,

the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School.

The other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

500 St John Street, 612 Pegram Street, 151 St Mark Street, 709 Ann Street, 735 Halifax Street, 334 Harrison Street, 803 Jones Street S, 604 Shore Street, 425 West Street S, 715 West Street S, 449 Harding Street, 517 St Matthew Street, 716 Harding Street, 708-10 Kirkham Street, 724 Harding Street, 249 North Carolina Avenue, 808 Halifax Street, 811 Halifax Street, 839-41 Jones Street S, 716 Kirkham Street, 742 Mount Airy Street, 829 Jones Street S, 742 Blick Street, 627 Harding Street, 804 Jones Street S, 135 Kentucky Avenue, 230 Kentucky Avenue, 712-14 Kirkham Street, 436 Byrne Street, 809 Jones Street S, 408 Shore Street, 415 St Matthew Street, 1004 Farmer Street, 852 Rome Street, 328 Shore Street, 322 Shore Street, 204 Kentucky Avenue, 521 St Mark Street, 725 Sterling Street, 731 West Street S, 919 Wythe Street W, 202 Kentucky Avenue, 151 Virginia Avenue.

The PRHA held a public hearing in connection with the Plan of Finance on January 25, 2021.

Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), provides that the applicable elected representatives of the governmental unit having jurisdiction over the issuer of private activity bonds and over the area in which any facility financed with the proceeds of private activity bonds is located must approve the issuance of such bonds, and the PRHA issues its bonds on behalf of the City of Petersburg, Virginia (the "City") and the Project is located in the City.

The PRHA, as the issuing governmental unit with respect to the Bonds, has no applicable elected representative, and the City constitutes the next highest governmental unit with such a representative, and the members of the City Council of the City (the "Council") constitute the applicable elected representatives of the City.

The PRHA has recommended that the Council approve the issuance of the Bonds and a copy of the Authority's resolution approving the issuance of the Bonds, a certificate of the Public Hearing, a summary of the statements expressed at the Public Hearing and the fiscal impact statement concerning the Plan of Finance are attached to this item.

This action would result in the following:

The City Council approving the issuance of the Bonds by the Authority for the benefit of the Borrower, as required by Section 147(f) of the Code, Section 15.2-4906, as applicable to housing authorities, of the Code of Virginia of 1950, as amended (the "Virginia Code") and Section 36-19(9) of the Virginia Code to permit the Authority to assist in the financing of the Plan of Finance.

The approval of the issuance of the Bonds does not constitute an endorsement to a prospective purchaser of the Bonds of the creditworthiness of the Plan of Finance or the Borrower.

The Bonds shall provide that neither the City nor the Authority shall be obligated to pay the Bonds or the interest thereon or other costs incident thereto except from the revenues and monies pledged thereto and that neither the faith and credit nor the taxing power of the City or the Authority is pledged to the payment of the principal of the Bonds or the interest thereon or other costs incident thereto.

In adopting this resolution, the City, including its elected representatives, officers, employees and agents, shall not be liable for, and hereby disclaim all liability for, any damages to any person, direct or consequential, resulting from the Authority's failure to issue the Bonds for any reason.

COST TO CITY: N/A

BUDGETED ITEM: N/A

REVENUE TO CITY: Tax Revenue from Developed Property.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: Petersburg Redevelopment and Housing Authority (PRHA), Virginia Housing

AFFECTED AGENCIES: City Assessor, Economic Development, Planning and Community Development

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: 20-ORD-17 adopted 04/28/20
20-ORD-40, adopted 9/2/20

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. PRHA (Dorsey Flats) - TEFRA Documents
2. 0316_2021ResolutionSupportBondsHousingAuthorityPBPetersburgLLC

January 25, 2021

City Council
City of Petersburg
Petersburg, Virginia

**Petersburg Redevelopment and Housing Authority
Proposed Financing for Dorsey Flats Apartments**

PB Petersburg Owner II LLC, a Virginia limited liability company (the "Borrower"), has requested that the Petersburg Redevelopment and Housing Authority (the "Authority"), issue up to \$15,000,000 of its revenue bonds (which may be structured as a conduit tax-exempt loan, the "Bonds") to assist the Borrower or an affiliated entity in financing or refinancing a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, or such other name as agreed to by the Borrower and the Authority, as well as related community space and recreation facilities (collectively, the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School, and the other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

500 St John Street
612 Pegram Street
151 St Mark Street
709 Ann Street
735 Halifax Street
334 Harrison Street
803 Jones Street S
604 Shore Street
425 West Street S
715 West Street S
449 Harding Street
517 St Matthew Street
716 Harding Street
708-10 Kirkham Street
724 Harding Street
249 North Carolina Avenue
808 Halifax Street

811 Halifax Street
839-41 Jones Street S
716 Kirkham Street
742 Mount Airy Street
829 Jones Street S
742 Blick Street
627 Harding Street
804 Jones Street S
135 Kentucky Avenue
230 Kentucky Avenue
712-14 Kirkham Street
436 Byrne Street
809 Jones Street S
408 Shore Street
415 St Matthew Street
1004 Farmer Street
852 Rome Street
328 Shore Street
322 Shore Street
204 Kentucky Avenue
521 St Mark Street
725 Sterling Street
731 West Street S
919 Wythe Street W
202 Kentucky Avenue
151 Virginia Avenue

As set forth in the resolution of the Authority attached hereto (the "Resolution"), the Authority has agreed to issue the Bonds as requested. The Authority has conducted a public hearing (the "Public Hearing") on the proposed financing of the Plan of Finance and has recommended that you approve the issuance of the Bonds as required by Section 147(f) of the Internal Revenue Code of 1986, as amended, Section 15.2-4906, as applicable to housing authorities, of the Code of Virginia of 1950, as amended (the "Virginia Code") and Section 36-19(9) of the Virginia Code.

Attached hereto is (1) a copy of the Resolution, (2) a certificate evidencing the conduct of the Public Hearing, (3) a summary of the comments expressed at the Public Hearing, (4) the fiscal impact statement required pursuant to Virginia Code Section 15.2-4907, as applicable to housing authorities and (5) the form of resolution suggested by counsel to evidence your approval.



Secretary, Petersburg Redevelopment and
Housing Authority

CERTIFICATE

The undersigned Secretary of the Petersburg Redevelopment and Housing Authority (the "Authority") certifies as follows:

1. A meeting of the Authority was duly called and held at 6:00 p.m. on January 25, 2021, before the Authority by electronic means, pursuant to proper notice given to each Commissioner of the Authority before such meeting. The meeting was open to the public, and the public was provided access to the below described public hearing by toll free telephone number. The time of the meeting and the place at which the meeting was held provided a reasonable opportunity for persons of differing views to appear and be heard.

2. The Chairman announced the commencement of a public hearing on the application of PB Petersburg Owner II LLC and a notice of the hearing was published once a week for two successive weeks in a newspaper having general circulation in the City of Petersburg, Virginia (the "Notice"), with the second publication appearing not less than six days nor more than twenty-one days prior to the hearing date. A copy of the Notice has been filed with the records of the Authority and is attached as Exhibit A.

3. A summary of the statements made at the public hearing is attached as Exhibit B.

4. Attached as Exhibit C is a true, correct and complete copy of a resolution (the "Resolution") adopted at such meeting of the Authority by a majority of the Commissioners present at such meeting. The Resolution constitutes all formal action taken by the Authority at such meeting relating to the matters referred to in the Resolution. The Resolution has not been repealed, revoked, rescinded or amended and is in full force and effect on this date.

5. Attached as Exhibit D is the applicant's Fiscal Impact Statement.

WITNESS my hand and the seal of the Authority, this 25th day of January, 2021.


Secretary, Petersburg Redevelopment and
Housing Authority

[SEAL]

Exhibits:

- A – Copy of Certified Notice
- B – Summary of Statements
- C – Resolution
- D – Fiscal Impact Statement

EXHIBIT A

NOTICE OF PUBLIC HEARING

[See Attached]

AFFP
Public Notice

Affidavit of Publicat

STATE OF THE SS
COMMONWEALTH OF
VIRGINIA }

Alice Coleman, being duly sworn, says:

That she is Legals Representative of the The Progress-
Index, a daily newspaper of general circulation, printed
and published in Petersburg, Petersburg City/ County, the
Commonwealth of Virginia; that the publication, a copy of
which is attached hereto, was published in the said

January 11, 2021, January 18, 2021

That said newspaper was regularly issued and circulated
on those dates.

SIGNED:



Legals Representative

Subscribed to and sworn to me this 18th day of January
2021.



Diane Gwaltney Ange, Accounts Receivable, Petersburg
City/ County, the Commonwealth of Virginia

My commission expires: October 31, 2022

00030136 00511392

MARGARET DOLAN
MCGUIREWOODS LLP
GATEWAY PLAZA
800 EAST CANAL STREET
RICHMOND, VA 23219

Legal Notices

DEBT NOTICE
 Any persons or firms with debts owed to or having just claim against the estate of MSG Soto, Lisa M., deceased, formerly of HHD, 244th QM BN, must contact 1LT Aaron Orgain, the Summary Court Martial Officer for the Soldier. Call 804-765-3408 or email aaron.orgain.mil@mail.mil

Legal Notices

Jason Roy Raymond of Victoria va is petitioning Kaitlin sue Raymond for divorce, please contact me @ 434-321-9587 to sign and finalize the paperwork



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NOTICE OF PUBLIC HEARING BEFORE THE PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY ON PROPOSED PRIVATE ACTIVITY BOND FINANCING FOR DORSEY FLATS APARTMENTS

Notice is hereby given that the Petersburg Redevelopment and Housing Authority (the "Authority"), whose address is 128 South Sycamore Street, Petersburg, Virginia 23803, will hold a public hearing on the request of PB Petersburg Owner II LLC, a Virginia limited liability company (the "Borrower"), whose address is 1888 Main Street, Suite C163, Madison, MS 39110, for the issuance by the Authority of up to \$15,000,000 of its revenue bonds (the "Bonds") to finance or refinance a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, as well as related community space and recreation facilities (collectively, the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School, and the other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

- 500 St John Street
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- 151 St Mark Street
- 709 Ann Street
- 735 Halifax Street
- 334 Harrison Street
- 803 Jones Street S
- 604 Shore Street
- 425 West Street S
- 715 West Street S
- 449 Harding Street
- 517 St Matthew Street
- 716 Harding Street
- 708-10 Kirkham Street
- 724 Harding Street
- 249 North Carolina Avenue
- 808 Halifax Street
- 811 Halifax Street
- 839-41 Jones Street S
- 716 Kirkham Street
- 742 Mount Airy Street
- 829 Jones Street S
- 742 Blick Street
- 627 Harding Street
- 804 Jones Street S
- 135 Kentucky Avenue
- 230 Kentucky Avenue
- 712-14 Kirkham Street
- 436 Byrne Street
- 809 Jones Street S
- 408 Shore Street
- 415 St Matthew Street
- 1004 Farmer Street
- 852 Rome Street
- 328 Shore Street
- 322 Shore Street
- 204 Kentucky Avenue
- 521 St Mark Street
- 725 Sterling Street
- 731 West Street S
- 919 Wythe Street W
- 202 Kentucky Avenue
- 151 Virginia Avenue

The Project will meet the requirements of a qualified residential rental project within the meaning of Section 142(d) of the Internal Revenue Code of 1986, as amended. The Project will be owned by the Borrower or another entity affiliated with and controlled by the Borrower.

The public hearing, which may be continued or adjourned, will be held at 6:00 p.m. on January 25, 2021, before the Board of Commissioners of the Authority. Due to the ongoing COVID-19 Pandemic, in accordance with applicable federal and Virginia law, the public hearing will be conducted through conference call. Members of the public may witness and participate in the public hearing by using the dial-in number and conference code set forth below.

DIAL-IN NUMBER: 1-866-292-2994
 CONFERENCE CODE: 9562118259

The Bonds will not pledge the credit or the taxing power of the Authority or the City of Petersburg, Virginia, but will be payable solely from the revenues derived from the Borrower and pledged therefor.

The public hearing will provide an opportunity for interested persons to be heard and communications and writings to be received and considered. Interested persons wishing to express their views on the issuance of the Bonds may also submit written comments prior to the time of the hearing to the Authority's bond counsel, Michael W. Graff, Jr., Esq., 1750 Tysons Boulevard, Suite 1800, Tysons, Virginia 22102. The hearing shall provide the fullest opportunity for the expression of opinion, for argument on the merits, and for the introduction of documentary evidence pertinent to the issuance of the Bonds.

PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY
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EXHIBIT B

SUMMARY OF STATEMENTS

Representatives of PB Petersburg Owner II LLC and McGuireWoods LLP, bond counsel, appeared before the Authority to explain the proposed plan of financing. No one appeared in opposition to the proposed bond issue.

EXHIBIT C

RESOLUTION

[See Attached]

PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY

PROPOSED RESOLUTION

Meeting Date: January 25, 2021

Agenda Item No. _____

TITLE: INDUCEMENT RESOLUTION REGARDING THE ISSUANCE OF MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION, CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS MULTIFAMILY HOUSING FACILITY LOCATED IN THE CITY OF PETERSBURG, VIRGINIA

RESOLUTION:

WHEREAS, the Petersburg Redevelopment and Housing Authority (the "Authority") is empowered, pursuant to the Virginia Housing Authorities Law, Chapter 1, Title 36 (the "Act") of the Code of Virginia of 1950, as amended (the "Virginia Code"), to issue its bonds for the purpose, among others, of financing the Plan of Finance (as hereinafter defined), located within the territorial boundaries of the City of Petersburg, Virginia (the "City"); and

WHEREAS, PB Petersburg Owner II LLC (the "Borrower") has requested the Authority to agree to issue its multifamily residential rental housing revenue bonds under the Act in an amount not to exceed \$15,000,000 (which may be structured as a conduit tax-exempt loan, the "Bonds"), the proceeds of which will be used to finance or refinance a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, as well as related community space and recreation facilities (collectively, the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School, and the other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

500 St John Street
612 Pegram Street
151 St Mark Street
709 Ann Street
735 Halifax Street
334 Harrison Street
803 Jones Street S
604 Shore Street
425 West Street S
715 West Street S
449 Harding Street
517 St Matthew Street

716 Harding Street
708-10 Kirkham Street
724 Harding Street
249 North Carolina Avenue
808 Halifax Street
811 Halifax Street
839-41 Jones Street S
716 Kirkham Street
742 Mount Airy Street
829 Jones Street S
742 Blick Street
627 Harding Street
804 Jones Street S
135 Kentucky Avenue
230 Kentucky Avenue
712-14 Kirkham Street
436 Byrne Street
809 Jones Street S
408 Shore Street
415 St Matthew Street
1004 Farmer Street
852 Rome Street
328 Shore Street
322 Shore Street
204 Kentucky Avenue
521 St Mark Street
725 Sterling Street
731 West Street S
919 Wythe Street W
202 Kentucky Avenue
151 Virginia Avenue

WHEREAS, the Project shall be established and maintained as a "qualified residential rental project" within the meaning of Section 142(d) of the Internal Revenue Code of 1986, as amended (the "Code"); and

WHEREAS, preliminary plans for the Plan of Finance have been described to the Authority and a public hearing (the "Public Hearing") has been held on January 25, 2021, with respect to the Plan of Finance and the Bonds in accordance with Section 147(f) of the Code and Section 15.2-4906, as applicable to housing authorities, of the Virginia Code; and

WHEREAS, the Public Hearing described in the immediately preceding paragraph was held telephonically in accordance with Internal Revenue Service Revenue Procedure 2020-21, as modified by Internal Revenue Service Revenue Procedure 2020-49, and the Commonwealth of Virginia's budget bill for the biennium ending June 30, 2022, as the Governor of the

Commonwealth of Virginia has issued Executive Order Fifty-One (2020), as amended, declaring a state of emergency, and the nature of such emergency makes it impracticable or unsafe for the Board of Commissioners of the Authority to assemble in a single location; and

WHEREAS, the Authority has determined that it is in the best interest of the Authority to issue its tax-exempt revenue bonds pursuant to the Act, in such amounts as may be necessary to finance the Plan of Finance, and in connection therewith to obtain tax credits for the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY THAT:

1. The foregoing recitals are approved by the Authority and are incorporated in, and deemed a part of, this resolution.

2. It is hereby found and determined that the Plan of Finance will further the public purposes of the Act by assisting in providing housing to low and moderate income persons in the City.

3. It is hereby found and determined that the Project will constitute a "residential building" as that term is defined in the Act.

4. To induce the Borrower to undertake the Plan of Finance and maintain the Project as a "qualified residential rental project" within the meaning of Section 142(d) of the Code, the Authority hereby agrees, subject to approvals required by applicable law, to assist the Borrower in financing the Plan of Finance, including the financing of reserve funds as permitted by applicable law, by undertaking the issuance of (and hereby declares its official intent to issue) its tax-exempt multifamily housing revenue bonds therefor in the maximum principal amount not to exceed \$15,000,000 upon the terms and conditions to be mutually agreed upon between the Authority and the Borrower. The Bonds shall be issued in form and pursuant to terms to be set by the Authority. The Bonds may be issued in one or more series at one time or from time to time, and the Bonds of any such series may be either taxable or tax-exempt for purposes of federal income taxation.

5. All other acts of the officers of the Authority that are in conformity with the purposes and intent of this resolution and in furtherance of the issuance and sale of the Bonds and the undertaking of the Plan of Finance are hereby ratified, approved and confirmed.

6. The Authority hereby designates McGuireWoods LLP, Tysons, Virginia, to serve as bond counsel ("Bond Counsel") and hereby appoints such firm to supervise the proceedings and approve the issuance of the Bonds.

7. The Authority hereby agrees, if requested, to accept the recommendation of the Borrower with respect to the appointment of a placement agent or underwriter for the sale of Bonds pursuant to terms to be mutually agreed upon.

8. The Borrower agrees to indemnify and save harmless the Authority, its officers, commissioners, employees and agents from and against all liabilities, obligations, claims,

damages, penalties, losses, costs and expenses in any way connected with the issuance and sale of the Bonds.

9. All costs and expenses in connection with the Plan of Finance, including the fees and expenses of the Authority (including, without limitation, any application fee and/or origination fee), Bond Counsel, counsel for the Authority and any placement agent or underwriter for the sale of the Bonds shall be paid from the proceeds of the Bonds (but only to the extent permitted by applicable law) or by the Borrower. If for any reason such Bonds are not issued, it is understood that all such expenses shall be paid by the Borrower and that the Authority shall have no responsibility therefor.

10. The Bonds shall be limited obligations of the Authority and shall be payable solely out of revenues, receipts and payments specifically pledged therefor. Neither the commissioners, officers, agents or employees of the Authority, past, present and future, nor any person executing the Bonds, shall be liable personally on the Bonds by reason of the issuance thereof. The Bonds shall not be deemed to constitute a general obligation debt or a pledge of the faith and credit of the Commonwealth of Virginia or any political subdivision thereof, including the Authority or the City (and the Bonds shall so state on their face), and neither the Commonwealth of Virginia nor any such political subdivision thereof shall be personally liable thereon, nor in any event shall the Bonds be payable out of any funds or properties other than the special funds and sources provided therefor. Neither the faith and credit nor the taxing power of the Commonwealth of Virginia, or any political subdivision thereof, shall be pledged to the payment of the principal of the Bonds or the interest thereon or other costs incident thereto. The Bonds shall not constitute an indebtedness within the meaning of any constitutional or statutory debt limitation or restriction.

11. The Authority (including its officers, commissioners, employees and agents) shall not be liable and hereby disclaims all liability to the Borrower and all other persons or entities for any damages, direct or consequential, resulting from the issuance of the Bonds or failure of the Authority to issue the Bonds for any reason. Any obligation of the Authority to exercise its powers in the City to issue the Bonds as requested by the Borrower is contingent upon the satisfaction of all legal requirements and the Authority shall not be liable and hereby disclaims all liability to the Borrower for any damages, direct or consequential, resulting from the Authority's failure to issue Bonds for the Plan of Finance for any reason, including but not limited to, the failure of the City Council of the City (the "City Council") to approve the issuance of the Bonds.

12. The Authority recommends that the City Council approve the issuance of the Bonds.

13. The Secretary of the Authority is authorized and directed to deliver to the City Council (1) a reasonably detailed summary of the comments, if any, expressed at the public hearing, (2) a fiscal impact statement concerning the Plan of Finance and (3) a copy of this resolution.

14. The Chairman or Secretary of the Authority, or the designee of either of them, is hereby authorized to request an allocation or allocations of the State Ceiling (as defined in Section 15.2-5000 of the Virginia Code) in accordance with the applicable provisions of the Virginia Code

and any regulations or executive orders issued thereunder. All costs incurred by the Authority, if any, in connection with such proceeding shall be paid for by the Borrower.

15. No Bonds may be issued pursuant to this resolution until such time as (a) the issuance of the Bonds has been approved by the City Council, (b) the Bonds have received an allocation or allocations of the State Ceiling in accordance with the applicable provisions of the Virginia Code and any regulations or executive orders issued thereunder, and (c) the final terms and details of the Bonds have been approved by subsequent resolution of the Authority.

16. The approval of the issuance of the Bonds does not constitute an endorsement to a prospective purchaser of the Bonds or the creditworthiness of the Plan of Finance of the Borrower.

17. The Authority confirms the findings and determinations contained in the recitals to this Resolution setting forth the reason for the need to meet by electronic means without requiring the Board of Commissioners to physically assemble at one location during the current declared state of emergency by the Governor of the Commonwealth of Virginia arising from COVID-19.

18. This resolution shall take effect immediately upon its adoption.

Adopted: January 25, 2021

EXPLANATION: This is an inducement resolution giving the Petersburg Redevelopment and Housing Authority's ("PRHA") preliminary approval to the proposed bond financing of the Dorsey Flats Apartments. It allows the Borrower to go forward with the proposed bond financing project; however, no bonds can be issued before the City Council approval, the obtaining of volume cap allocation from the state ceiling administered by the Virginia Department of Housing and Community Development and the adoption of a final bond resolution by PRHA at a subsequent meeting which will approve the substantially final bond documents and the overall parameters of the bond issue (i.e. the principal amount, the term and the interest rate of the bonds).

CERTIFICATE OF VOTES

Record of the roll-call vote by the Petersburg Redevelopment and Housing Authority, upon reading on a resolution titled **"INDUCEMENT RESOLUTION REGARDING THE ISSUANCE OF MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION, CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS MULTIFAMILY HOUSING FACILITY LOCATED IN THE CITY OF PETERSBURG, VIRGINIA"** taken at a meeting of the Authority held on January 25, 2021:

	AYE	NAY	ABSTAIN	ABSENT
Leonard Muse, Chair	X			
Mary S. Howard, Vice-Chair	X			
Linda Poe	X			
Kim Potts			X	
Joseph Dickens	X			
Trisha Brown	X			

Dated: January 25, 2021

(SEAL)



Chairman, Petersburg Redevelopment and Housing Authority

ATTEST: 
Secretary

The undersigned Secretary of the Petersburg Redevelopment and Housing Authority hereby certifies that the foregoing is a true, correct, and complete copy of a Resolution adopted by the Authority's commissioners present and voting at a meeting duly called and held on January 25, 2021, in accordance with law, and that such Resolution has not been repealed, revoked, rescinded, or amended, but is in full force and effect as of the date hereof.

WITNESS my hand and the seal of the Authority this 25th day of January, 2021.

PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY

By: 
Secretary

EXHIBIT D

FISCAL IMPACT STATEMENT

[See Attached]

FISCAL IMPACT STATEMENT
FOR PROPOSED BOND FINANCING

Date: January 25, 2021

Applicant: PB Petersburg Owner II LLC

Facility: Multifamily Housing Facility in the City of Petersburg, Virginia to be known as the Dorsey Flats Apartments

1.	Maximum amount of financing sought.	\$15,000,000
2.	Estimated taxable value of the facility's real property to be constructed in the locality.	\$6,200,000
3.	Estimated real property tax per year using present tax rates.	\$94,000
4.	Estimated personal property tax per year using present tax rates.	\$0
5.	Estimated merchants' capital tax per year using present tax rates.	\$0
6.	(a) Estimated dollar value per year of goods that will be purchased from Virginia companies within the locality.	\$0
	(b) Estimated dollar value per year of goods that will be purchased from non-Virginia companies within the locality.	\$0
	(c) Estimated dollar value per year of services that will be purchased from Virginia companies within the locality.	\$0
	(d) Estimated dollar value per year of services that will be purchased from non-Virginia companies within the locality.	\$0
7.	Estimated number of regular employees on year round basis.	During Construction: 72, Permanently: 4
8.	Average annual salary per employee.	\$45,000


Chairman, Petersburg Redevelopment and Housing Authority
Leonard A. Muse

**RESOLUTION APPROVING THE ISSUANCE BY THE
PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY OF ITS
MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION,
CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING
OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS
MULTIFAMILY HOUSING FACILITY LOCATED IN THE
CITY OF PETERSBURG, VIRGINIA**

WHEREAS, the Petersburg Redevelopment and Housing Authority (the "Authority") is authorized to advertise and hold public hearings relative to the issuance of private activity bonds; and

WHEREAS, the Authority has considered the application of PB Petersburg Owner II LLC, a Virginia limited liability company (the "Borrower"), requesting that the Authority issue up to \$15,000,000 of its revenue bonds (the "Bonds") to assist the Borrower or an affiliated entity in financing or refinancing a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, or such other name as agreed to by the Borrower and the Authority, as well as related community space and recreation facilities (collectively, the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School, and the other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

500 St John Street
612 Pegram Street
151 St Mark Street
709 Ann Street
735 Halifax Street
334 Harrison Street
803 Jones Street S
604 Shore Street
425 West Street S
715 West Street S
449 Harding Street
517 St Matthew Street
716 Harding Street
708-10 Kirkham Street
724 Harding Street
249 North Carolina Avenue
808 Halifax Street
811 Halifax Street
839-41 Jones Street S

716 Kirkham Street
742 Mount Airy Street
829 Jones Street S
742 Blick Street
627 Harding Street
804 Jones Street S
135 Kentucky Avenue
230 Kentucky Avenue
712-14 Kirkham Street
436 Byrne Street
809 Jones Street S
408 Shore Street
415 St Matthew Street
1004 Farmer Street
852 Rome Street
328 Shore Street
322 Shore Street
204 Kentucky Avenue
521 St Mark Street
725 Sterling Street
731 West Street S
919 Wythe Street W
202 Kentucky Avenue
151 Virginia Avenue

WHEREAS, the Authority has held a public hearing in connection with the Plan of Finance on January 25, 2021 (the "Public Hearing"); and

WHEREAS, Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), provides that the applicable elected representatives of the governmental unit having jurisdiction over the issuer of private activity bonds and over the area in which any facility financed with the proceeds of private activity bonds is located must approve the issuance of such bonds; and

WHEREAS, the Authority issues its bonds on behalf of the City of Petersburg, Virginia (the "City") and the Project is located in the City; and

WHEREAS, the Authority, as the issuing governmental unit with respect to the Bonds, has no applicable elected representative, the City constitutes the next highest governmental unit with such a representative, and the members of the City Council of the City (the "Council") constitute the applicable elected representatives of the City; and

WHEREAS, the Authority has recommended that the Council approve the issuance of the Bonds; and

WHEREAS, a copy of the Authority's resolution approving the issuance of the Bonds, a certificate of the Public Hearing, a summary of the statements expressed at the Public Hearing and the fiscal impact statement concerning the Plan of Finance have been filed with the Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PETERSBURG, VIRGINIA:

1. The Council approves the issuance of the Bonds by the Authority for the benefit of the Borrower, as required by Section 147(f) of the Code, Section 15.2-4906, as applicable to housing authorities, of the Code of Virginia of 1950, as amended (the "Virginia Code") and Section 36-19(9) of the Virginia Code to permit the Authority to assist in the financing of the Plan of Finance.

2. The approval of the issuance of the Bonds does not constitute an endorsement to a prospective purchaser of the Bonds of the creditworthiness of the Plan of Finance or the Borrower.

3. The Bonds shall provide that neither the City nor the Authority shall be obligated to pay the Bonds or the interest thereon or other costs incident thereto except from the revenues and monies pledged thereto and that neither the faith and credit nor the taxing power of the City or the Authority is pledged to the payment of the principal of the Bonds or the interest thereon or other costs incident thereto.

4. In adopting this resolution, the City, including its elected representatives, officers, employees and agents, shall not be liable for, and hereby disclaim all liability for, any damages to any person, direct or consequential, resulting from the Authority's failure to issue the Bonds for any reason.

5. This resolution shall take effect immediately upon its adoption.

Adopted by the City Council of the City of Petersburg, Virginia this ____ day of _____, 2021.

CERTIFICATE

Record of the roll-call vote by the City Council of the City of Petersburg, Virginia, upon reading on a resolution titled "**RESOLUTION APPROVING THE ISSUANCE BY THE PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY OF ITS MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION, CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS MULTIFAMILY HOUSING FACILITY LOCATED IN THE CITY OF PETERSBURG, VIRGINIA,**" taken at a meeting of the City Council held on _____, 2021:

	AYE	NAY	ABSTAIN	ABSENT
Hon. Samuel Parham, Mayor				
Hon. Annette Smith-Lee, Vice Mayor				
Hon. Treska Wilson-Smith				
Hon. Darrin Hill				
Hon. Charlie Cuthbert				
Hon. W. Howard Myers				
Hon. John A. Hart, Sr.				

Dated: _____, 2021

CITY COUNCIL OF THE CITY OF PETERSBURG, VIRGINIA

The undersigned Clerk of the City Council of the City of Petersburg, Virginia, hereby certifies that the foregoing is a true, correct, and complete copy of a resolution adopted by the City Council at its meeting duly called and held on _____, 2021, in accordance with law, and that such resolution has not been repealed, revoked, rescinded, or amended, but is in full force and effect as of the date hereof.

WITNESS my hand and the seal of the City of Petersburg, Virginia this ____ day of _____, 2021.

[SEAL]

Clerk, City Council of the City of Petersburg, Virginia

RESOLUTION APPROVING THE ISSUANCE BY THE PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY OF ITS MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION, CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS MULTIFAMILY HOUSING FACILITY LOCATED IN THE CITY OF PETERSBURG, VIRGINIA

WHEREAS, the Petersburg Redevelopment and Housing Authority (the "Authority") is authorized to advertise and hold public hearings relative to the issuance of private activity bonds; and

WHEREAS, the Authority has considered the application of PB Petersburg Owner II LLC, a Virginia limited liability company (the "Borrower"), requesting that the Authority issue up to \$15,000,000 of its revenue bonds (the "Bonds") to assist the Borrower or an affiliated entity in financing or refinancing a portion of the cost of acquiring, constructing, renovating, rehabilitating and equipping a multifamily residential rental housing project containing approximately 98 units, including approximately 50 units for seniors, to be known as Dorsey Flats Apartments, or such other name as agreed to by the Borrower and the Authority, as well as related community space and recreation facilities (collectively, the "Project") and the costs of issuance incurred in connection with the issuance of the Bonds (together with the Project, the "Plan of Finance"). The approximately 50 units for seniors will be located at 1000 Diamond Street, in the City of Petersburg, Virginia, formerly the Virginia Avenue Elementary School, and the other approximately 48 units will be located on 43 lots at the following addresses, all of which are in the City of Petersburg, Virginia:

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WHEREAS, the Authority held a public hearing in connection with the Plan of Finance on January 25, 2021 (the "Public Hearing"); and

WHEREAS, Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), provides that the applicable elected representatives of the governmental unit having jurisdiction over the issuer of private activity bonds and over the area in which any facility

financed with the proceeds of private activity bonds is located must approve the issuance of such bonds; and

WHEREAS, the Authority issues its bonds on behalf of the City of Petersburg, Virginia (the "City") and the Project is located in the City; and

WHEREAS, the Authority, as the issuing governmental unit with respect to the Bonds, has no applicable elected representative, the City constitutes the next highest governmental unit with such a representative, and the members of the City Council of the City (the "Council") constitute the applicable elected representatives of the City; and

WHEREAS, the Authority has recommended that the Council approve the issuance of the Bonds; and

WHEREAS, a copy of the Authority's resolution approving the issuance of the Bonds, a certificate of the Public Hearing, a summary of the statements expressed at the Public Hearing and the fiscal impact statement concerning the Plan of Finance have been filed with the Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PETERSBURG, VIRGINIA THAT:

1. The Council approves the issuance of the Bonds by the Authority for the benefit of the Borrower, as required by Section 147(f) of the Code, Section 15.2-4906, as applicable to housing authorities, of the Code of Virginia of 1950, as amended (the "Virginia Code") and Section 36-19(9) of the Virginia Code to permit the Authority to assist in the financing of the Plan of Finance.
2. The approval of the issuance of the Bonds does not constitute an endorsement to a prospective purchaser of the Bonds of the creditworthiness of the Plan of Finance or the Borrower.
3. The Bonds shall provide that neither the City nor the Authority shall be obligated to pay the Bonds or the interest thereon or other costs incident thereto except from the revenues and monies pledged thereto and that neither the faith and credit nor the taxing power of the City or the Authority is pledged to the payment of the principal of the Bonds or the interest thereon or other costs incident thereto.
4. In adopting this resolution, the City, including its elected representatives, officers, employees and agents, shall not be liable for, and hereby disclaim all liability for, any damages to any person, direct or consequential, resulting from the Authority's failure to issue the Bonds for any reason.

5. This resolution shall take effect immediately upon its adoption.

Adopted by the City Council of the City of Petersburg, Virginia this ____ day of _____, 2021.

CERTIFICATE

Record of the roll-call vote by the City Council of the City of Petersburg, Virginia, upon reading on a resolution titled "RESOLUTION APPROVING THE ISSUANCE BY THE PETERSBURG REDEVELOPMENT AND HOUSING AUTHORITY OF ITS MULTIFAMILY HOUSING REVENUE BONDS FOR THE ACQUISITION, CONSTRUCTION, RENOVATION, REHABILITATION AND EQUIPPING OF THE APPROXIMATELY 98-UNIT DORSEY FLATS APARTMENTS MULTIFAMILY HOUSING FACILITY LOCATED IN THE CITY OF PETERSBURG, VIRGINIA," taken at a meeting of the City Council held on _____, 2021:

	AYE	NAY	ABSTAIN	ABSENT
Hon. Samuel Parham, Mayor				
Hon. Annette Smith-Lee, Vice Mayor				
Hon. Treska Wilson-Smith				
Hon. Darrin Hill				
Hon. Charlie Cuthbert				
Hon. W. Howard Myers				
Hon. John A. Hart, Sr.				

Dated: _____, 2021

CITY COUNCIL OF THE CITY OF PETERSBURG, VIRGINIA

The undersigned Clerk of the City Council of the City of Petersburg, Virginia, hereby certifies that the foregoing is a true, correct, and complete copy of a resolution adopted by the City Council at its meeting duly called and held on _____, 2021, in accordance with law, and that such resolution has not been repealed, revoked, rescinded, or amended, but is in full force and effect as of the date hereof.

WITNESS my hand and the seal of the City of Petersburg, Virginia this ____ day of _____, 2021.

[SEAL]

Clerk, City Council of the City of Petersburg, Virginia



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH:

FROM: Anthony Williams

RE: **Request to schedule a public hearing for April 6, 2021 on an ordinance to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community, and authorizing the abatement of such nuisance. (1st Reading)**

PURPOSE: For Council to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community and authorize abatement of such nuisance.

REASON: For Council to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community and authorize abatement of such nuisance.

RECOMMENDATION: SCHEDULE PUBLIC HEARING ON 04/06/2021 FOR PUBLIC HEARING AND CONSIDERATION OF ORDINANCE.

BACKGROUND: On March 5, 2021, the Property Maintenance Official issued a Report in accordance with 106.2 of the Virginia Property Maintenance Code referencing a document prepared by Mosely Architects and based upon on site surveys conducted by professionals from Moseley Architects, the Petersburg Property Maintenance Official, and other City personnel.

In the Maintenance Report, the Maintenance Official makes the determination that the property is unsafe, and unfit for human habitation. This Ordinance authorizes and supports the abatement of these conditions upon the property.

COST TO CITY: approximately \$1,000,000.00 or more

BUDGETED ITEM: no

REVENUE TO CITY: UNK.

CITY COUNCIL HEARING DATE: 4/6/2021

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: NA

AFFECTED AGENCIES: Neighborhood Services

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: Consistent with previously adopted 14-ORD-22.

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. ramada ordinance
2. B
3. A

AN ORDINANCE TO DECLARE THE PROPERTY LOCATED AT 380 E. WASHINGTON STREET A BLIGHTED PROPERTY AND A PUBLIC NUISANCE TO THE COMMUNITY, AND AUTHORIZING THE ABATEMENT OF SUCH NUISANCE

WHEREAS, §15.2-906 of the Code of Virginia authorizes a locality to require the removal, repair, or securing of any building, wall or any other structure that might endanger the public health or safety of other residents of the locality; and

WHEREAS, under this section, upon the failure of the owner to take corrective action after reasonable notice and reasonable time to do so, the locality may proceed to remove, repair, or secure the building, wall, or structure, and recover such costs, if unpaid, as a lien upon the property ranking on a parity with liens for unpaid local real estate taxes; and

WHEREAS, the City of Petersburg has adopted a local ordinance (22-50) which mirrors the requirements of the foregoing section; and

WHEREAS, §36-3 of the Code of Virginia defines “blighted property” as *any individual commercial, industrial, or residential structure or improvement that endangers the public's health, safety, or welfare because the structure or improvement upon the property is dilapidated, deteriorated, or violates minimum health and safety standards, or any structure or improvement previously designated as blighted pursuant to § 36-49.1:1, under the process for determination of "spot blight;"* and

WHEREAS, §36-49.1:1(G) of the Code of Virginia authorizes a locality to adopt an Ordinance declaring any blighted property to constitute a nuisance, and thereupon abate the nuisance pursuant to §15.2-900 or §15.2-1115 of the Code of Virginia after written notice by certified mail to the owner or owners as shown on the current real estate tax assessment books; and

WHEREAS, upon the owner’s failure to abate or remove the nuisance, the locality may initiate an action to abate or remove the nuisance in accordance with §15.2-900 of the Code of Virginia, and may do so at its own expense with the costs of removal or abatement imposed as a lien upon the property bearing the legal rate of interest per §6.2-301 of the Code of Virginia beginning on the date the removal or abatement is completed through the date upon which the lien is paid; and

WHEREAS, on March 5, 2021, the Petersburg Property Maintenance Official issued a Report of Unsafe and Unsecured Structure that is Unfit for Human Habitation – Pursuant to VPMC 106.2 for the property that is located at 380 E. Washington Street (**Exhibit A** - hereinafter “Property Maintenance Report”); and

WHEREAS, the Report references and includes as an attachment, a document prepared by Mosely Architects entitled “Ramada Inn Observations Documentation” (hereinafter “Mosely Report”) prepared upon on site surveys conducted on November 6, 2020 and January 19, 2021 by a team of licensed professionals from Mosely Architects, the Petersburg Property Maintenance Official, and other staff personnel from the City of Petersburg; and

WHEREAS, the Property Maintenance Report and the Moseley Report identify a significant number of conditions upon the property which have been caused and/or exacerbated by the failure of the owner to properly maintain or repair the building and which pose a substantial danger to life and property if left unabated; and

WHEREAS, the property has substantial deterioration from the time it was purchased by C.A. Harrison Companies, LLC in year 2016 which are chronicled in the Mosely Report at pages 56 through 63; and

WHEREAS, the property owner has been cited for numerous civil penalties and criminal penalties for the condition of the property since its acquisition, but has taken no action to abate the unlawful conditions on the property; and

WHEREAS, the Property Maintenance Official issued a Notice to Repair or Demolish via Certified Mail on [REDACTED]; and

WHEREAS, the property was previously declared to be a blighted property and a public nuisance to the community in year 2014 pursuant to 14-ORD-22 (**Exhibit B**), and the blighted and unsafe conditions upon the property have only worsened since that time to present; and

WHEREAS, it is the belief of City Council for the City of Petersburg that the property constitutes a blighted property an a public nuisance that is a danger to the health, safety, and welfare of the citizens of the City of Petersburg; and

WHEREAS, it is the desire of City Council that the City's Administration take all necessary action to ensure the abatement of such public nuisance and blighted conditions upon said property.

NOW therefore be it ORDAINED, that City Council for the City of Petersburg does hereby DECLARE the property at 380 East Washington Street, Petersburg, Virginia to be a blighted property that constitutes a nuisance as provided for by §36-49.1:1(G) of the Code of Virginia; and

BE it further ORDAINED, that City Council does hereby further DECLARE the property to be a danger to the public health or safety of other residents of the locality for the purposes of §15.2-906; and

BE it further ORDAINED that the City's Manager and City Attorney are hereby directed to take all necessary action to abate the conditions using all legal means and expend such funds as may be necessary for such abatement and seek to recover said funds from the property owner, and if not immediately recovered, record such expenses as a lien on the property until paid as provided for by Code of Virginia §§36-49.1:1(G); 15.2-900; 15.2-906; 15.2-1115 and 22-50 of the Petersburg City Code; and any other applicable law.

This Ordinance shall take effect immediately upon adoption.



City Attorney
Brian K. Telfair

Assistant City Attorney
Danielle N. Powell

City of Petersburg

Office of the City Attorney

City Hall
135 North Union Street
Petersburg, Virginia 23803

Telephone: (804) 733-2305

TDD: (804) 733-8003

Fax: (804) 732-9212

E-mail:

btelfair@petersburg-va.org

dpowell@petersburg-va.org

April 24, 2014

**VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED
AND REGULAR MAIL**

Mr. Robert J. Harmon
898 Old Chester Road
Far Hills, NJ 07931

VIA REGULAR MAIL

Mr. James Geddis
Petersburg Regency, L.L.C.
380 E. Washington Street
Petersburg, VA 23803

Mr. Charles G. Meyer, Esq.
LeClair Ryan
Riverfront Plaza, East Tower
951 East Byrd Street, Eighth Floor
Richmond, VA 23219

**RE: FORT LEE REGENCY HOTEL
380 EAST WASHINGTON STREET, PETERSBURG**

Dear Mr. Harmon, Mr. Geddis, and Mr. Meyer:

I enclose an Ordinance enacted by the Petersburg City Council on April 15, 2014,
declaring 380 E. Washington Street to be a public nuisance

EXHIBIT B

Please contact me with any questions or comments you may have.

Very truly yours,

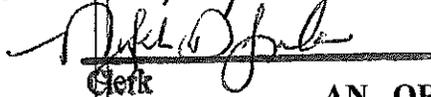


Brian K. Telfair, City Attorney

BKT/deg
Enclosure

cc: Mayor Brian A. Moore and Members of City Council
William E. Johnson, City Manager
J. Howard Hines, Building's Official/Property Maintenance Official

I, the undersigned, Clerk of the Council of the City of Petersburg, Virginia, do certify that the foregoing ordinance is a true and exact copy of an ordinance passed by the said Council at its meeting held on 4/15/2014.


Clerk

14-Ord-22
Adopted: 04/15/14

AN ORDINANCE TO DECLARE THE PROPERTY LOCATED AT 380 E. WASHINGTON STREET A BLIGHTED PROPERTY AND A PUBLIC NUISANCE TO THE COMMUNITY, AND AUTHORIZING THE ABATEMENT OF SUCH NUISANCE.

WHEREAS, Code of Virginia §36-49.1:1(G) authorizes localities to declare blighted property as defined in Code of Virginia §36-3 to be a nuisance; and

WHEREAS, the City of Petersburg has codified the provisions of Code of Virginia §36-49.1:1(G) in the City of Petersburg Code §22-155; and

WHEREAS, the City of Petersburg requires that all structures within the City to be maintained in good repair, structurally sound, and reasonably protected against decay and deterioration in compliance with Volume II – Building Maintenance Code of the Uniform Statewide Building Code, as adopted by the City of Petersburg Code §22-31; and

WHEREAS, the structure located at 380 East Washington Street (the “Fort Lee Regency”) sits directly adjacent to the northbound and southbound lanes of Interstate 95 and is viewed by approximately 100,000 people per day; and

WHEREAS, the Fort Lee Regency has been vacant and unused for at least two (2) years;

WHEREAS, the City sent the present owner of the Fort Lee Regency a Repair or Demolition Notice on or about May 31, 2013 requesting that he repair or demolish the Fort

WHEREAS, since 2005 the Petersburg Bureau of Police has received numerous complaint calls for service from the public. These complaints include, by way of illustration but not limitation, abduction, armed robbery, drug violations, solicitation, and vandalism; and

WHEREAS, for the last two (2) years, the Petersburg Bureau of Police has received complaint calls to include larceny, reports of suspicious persons and vehicles, and vandalism; and

WHEREAS, recently, the Hotel has been vandalized by individuals marking the exterior of the building with graffiti and is also used as an assembly point for gangs; and

WHEREAS, the above conditions endanger the public's health, safety, or welfare; and

WHEREAS, the Inspections Division and the City Attorney's Office have attempted to remediate this property; and

WHEREAS, on or about December 5, 2013, the City of Petersburg, pursuant to applicable State Law and Local Ordinances, requested the owner to submit a plan for the spot blight abatement of this property via demolition/razing requesting that such plan be submitted within thirty (30) days of receipt; and

WHEREAS, the owner of the Fort Lee Regency did not submit a plan to demolish or raze the property, but instead submitted plans to convert the hotel into an assisted living facility, apartments, or an all-suite hotel; and

WHEREAS, a copy of this Ordinance was sent via certified and first-class mail to the

WHEREAS, a copy of this Ordinance was also sent via facsimile and first-class mail to the property owner and the property owner's Attorney; and

WHEREAS, the estimated cost to demolish/raze the property, as stated above, such that it is no longer a nuisance, is approximately \$749,000.00 and Code of Virginia Sec. §36-49.1:1(G) allows for the recovery of such costs from the property owner; and

WHEREAS, the estimated cost to abate the property, as stated above, such that it is no longer a nuisance, is approximately \$300,000.00 and Code of Virginia Sec. §36-49.1:1(G) allows for the recovery of such costs from the property owner.

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Petersburg, as follows:

§1. That, for the reasons stated above and for any reasons discussed at the City Council meeting held on this Ordinance, the subject property, located at 380 East Washington Street, Petersburg, Virginia, is declared to be blighted and thereby constitutes a nuisance, as provided for by Code of Virginia §36-49.1:1(G).

§2. That abatement of the nuisance, as stated above, may be carried out pursuant to the Code of Virginia §§15.2-900 and/or 15.2-1115, in addition to all other remedies available to the City. Any costs incurred by the City associated with such abatement shall be recovered from the property owner and, if not immediately recovered, recorded as a lien on the property until paid, as allowed by Code of Virginia §36-49.1:1(G) and §15.2-1115.

§3. That this ordinance shall take effect immediately upon adoption.



CITY OF PETERSBURG

NEIGHBORHOOD SERVICES

CODE COMPLIANCE DIVISION

1340 W WASHINGTON STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

REPORT OF UNSAFE AND UNSECURED STRUCTURE THAT IS UNFIT FOR HUMAN HABITATION - PURSUANT TO VPMC 106.2

Property Address: 380 E Washington Street, Petersburg, VA 23803; Parcel ID #012-290001

Mr. Christopher A. Harrison,

On November 19, 2021, the Department of Neighborhood Services, in coordination with Mosely Architects, with the permission of yourself, conducted an on-site inspection of the vacant and unoccupied property known as 380 E Washington Street. The purpose of the inspection was focused on determining if any unsafe conditions existed and to what extent.

Initial considerations of the exterior of the property were, are there identifiable access points for trespassing, are there signs of recent trespassers activity from previous inspections, and are there conditions that could pose a risk to those that trespass here.

It was clear that all three of those concerns were verifiable. Not only were there clear signs that people have been trespassing by force, but the key to unlock the front gate was at the time of the inspection and still is at the time of writing this report, hanging on the fence near the entrance. Despite the numerous alerts to the owners to secure the property, the exterior and interior of the property are still being trespassed. Evidence of this can be viewed at the numerous areas with fresh graffitiⁱ, and newly broken windowsⁱⁱ – note that the windows are broken from the inside, and the boards that once secured openings on several different floors are now removed.

From the above findings it is has been determined the structure is unsecure, and by turn unsafe.ⁱⁱⁱ

During the inspection of the exterior of the property (this area includes the grounds, parking deck, and garage) the survey identified stagnant/standing water^{iv}, large piles of debris^v – observed among the debris was broken glass and shards of metal, there were improperly secured and maintained guard rails and guards^{vi} which surrounded a large opening and potentiates a fall in excess of 30', and excessively overgrown weeds, bushes, grass, and trees^{vii}. It should be noted that there was vegetation growth from the concrete wall, and floors of the parking garage.

Other identified concerns to the exterior grounds include, rusted out and damaged plumbing components^{viii}, rusted beams supporting the parking garage and deck^{ix}, which in some areas are directly affecting the integrity of the walls the beams are enclosed in, and peeling paint^x from the majority of the metal surfaces in the garage which is directly influencing the integrity of those materials.

The inspection of the perimeter resulted in the determination that there is a potential for serious injury or death. At the north side of the structure near the main entrance there is a drop in elevation ranging from approximately 15' near the entrance to 60' at the north east side of the building. There are no guards or

fencing installed preventing anyone attempting to access the property from falling into the ravine below or into the broken glass of the arboretum/conservatory near the entrance^{xi}.

Considering the exterior of the structure^{xii}, it is immediately apparent that the façade is compromised. On the east side of the structure there is a section spanning four floors where the façade has fallen from the building. From that height, if someone was struck by a piece of falling debris, we are confident, at minimum, notable injury and possibly death could result.

Upon entering the structure, it was immediately clear that the water has found its way into the building^{xiii}. Near the center of gutted interior on the first floor was a standing puddle of water. Directly above that were clear signs of moisture. Directly below, one floor down was a room whose carpet was soaked and walls showing a black organic growth. The water from the room was seeping into the adjacent hallway. Water was present on almost every floor of the structure.

On various floors the service and guest elevator shafts were open or the wall surrounding the shaft had been demolished^{xiv}. In at least one case the openings were large enough to fall through. The shaft openings were identified as high as the top two floors. In some cases, a weak guard was installed to prevent injury. However, it's likely the materials used would not prevent someone falling through if normal force was applied. In more extreme cases there were no guards at all^{xv}. At the bottom of the service elevator was an undeterminable depth of water that had been there for an undeterminable amount of time.

One of the clearer interior safety concerns that needed to be inspected was the large expanse of façade spanning four floors and visible from I-95^{xvi}. From the exterior it was clear the demolition of the interior had already taken place on those floors and there was little protection from falling in those locations. The interior inspection determined there was an attempt to seal the openings^{xvii}, however the attempt was completed haphazardly and provided little protection. On the third floor of the opening, there was nothing installed to prevent someone from falling out of the building, an estimated 100 feet into the Appomattox water shed^{xviii}.

Other notable interior safety concerns include broken windows, damp conditions with organic growth^{xix}, large amounts of debris^{xx}, unprotected openings in the floors exposed through demolition^{xxi}, a soft and spongy roof with standing water and, in at least one location, a tree has taken root and is now three feet tall^{xxii}.

The owners lack of responsibility in response to our enforcement efforts and the general lack of concern for trespassers, as shown through the substandard efforts to secure the property, and the existing conditions that continue to worsen could potentially lead to serious injury or death. This determination that this structure is unfit for human occupancy is not made lightly.

Based on the foregoing, and from collected evidence that this structure is unable to be kept secure, coupled with the blatant refusal to address the existing safety violations originally issued October of 2019, and a follow up notice that included separate violations issued January of 2020, has led Neighborhood Services to determine that this unsafe structure is unfit for human occupancy and thus constitutes such a hazard that it should be razed or removed, as authorized by section 106.1^{xxiii} of the 2015 Virginia Maintenance Code, in lieu of complete abatement.

Copies of all violation notices, inspection sheets, and engineers report have been attached for reference.

Bradley Shupp
Property Maintenance Official



CC. Frank Poulin, Director of Neighborhood Services.

ⁱ **Sec. 50-62. - Certain offensive, unwholesome, etc., uses of land declared a nuisance.** (a) Any condition or use of any land or premises in the city which is offensive, unwholesome, unsanitary, unhealthy, is detrimental to the property of others, or which causes or tends to cause substantial diminution in value of the property in the neighborhood in which such land or premises is located is hereby declared a nuisance.

ⁱⁱ **304.13 Window, skylight and door frames.** Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight. Commentary - All windows, skylights and doors must be installed in their frames so that they are weather tight (i.e., able to prevent wind, rain or other elements from entering the structure). A workmanlike installation will provide appropriate protection while maintaining operational capability.

304.13.1 Glazing. Glazing materials shall be maintained free from cracks and holes. Commentary - All glass is to be maintained without open cracks or holes, which can admit wind and moisture. Defective glass poses hazards to occupants.

ⁱⁱⁱ **202 Unsafe structure.** An existing structure (i) determined by the code official to be dangerous to the health, safety and welfare of the occupants of the structure or the public, (ii) that contains unsafe equipment, or (iii) that is so damaged, decayed, dilapidated, structurally unsafe or of such faulty construction or unstable foundation that partial or complete collapse is likely. **A vacant existing structure unsecured or open shall be deemed to be an unsafe structure.**

^{iv} **302.2 Grading and Drainage.** All premises shall be graded and maintained to protect the foundation walls or slab of the structure from the accumulation and drainage of surface or stagnant water in accordance with the applicable building code. Commentary - Improperly graded property areas create health and safety hazards. Stagnant water provides a home for many nuisance insects, especially the mosquito. Stagnant water next to a structure can cause mold growth, which can lead to the decay of wooden members. Pondered water is an attractive nuisance for children and has contributed to numerous drowning deaths. Stagnant water is foul or stale water. Regrading the premises may be necessary to prevent stagnant water. If regrading is not practical, some type of water diversion system must be installed. Other solutions include replacing nonabsorbent soil with absorbent soil, installing underground drain tile or building an underground leaching pit. Soil erosion can be a nuisance if material is being deposited in drainage systems or on adjacent properties, and is an indication of improper grading. Planting and maintaining an acceptable ground cover generally prevents erosion. As indicated by the exception, water retention areas or reservoirs are permitted by the code even though they may contain stagnant water; however, the code official must approve their use.

^v **304.1 General** The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health, safety, or welfare. Comments - It must be kept in a sanitary condition. There shall be no accumulation of litter or debris on porches and other parts of the exterior structure.

^{vi} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. **Comments - 1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{vii} **Sec. 50-63. - Detrimental or excessively high growths of weeds or other vegetable matter.** (a)(1) The existence of any weeds, bushes, grass or other vegetable matter upon any land or premises in the city which is detrimental to the health, comfort or general welfare of any of the inhabitants of the city or which exceeds a height of 12 inches is hereby declared a nuisance.

^{viii} **504.3 Plumbing System Hazard.** Where it is found that a plumbing system in a structure constitutes a hazard to the public, the occupants or the structure, the code shall require the defects to be corrected to eliminate the hazard. Commentary - Any plumbing system having a deficiency or condition that is deemed by the code official as hazardous to the occupants or to the structure must be repaired or altered to eliminate the hazard. Hazards in a plumbing system include, but are not limited to, the following:

- Deteriorated, damaged, worn or otherwise defective piping, fixtures, or fittings.

^{ix} **304.4 Structural Members.** Structural members shall be maintained free from deterioration and shall be capable of safely supporting the imposed dead and live loads.

^x **304.2 Protective Treatment.** Exterior surfaces, including but not limited to, doors, door and window frames, cornices, porches, trim, balconies, decks and fences, shall be maintained in good condition. Exterior wood surfaces, other than decay-resistant woods, shall be protected from the elements and decay by painting or other protective covering or treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints, as well as those between the building envelope and the perimeter of windows, doors and skylights, shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion, and surfaces with rust or corrosion shall be stabilized and coated to inhibit future rust and corrosion. Oxidation stains shall be removed from exterior surfaces. Surfaces designed for stabilization by oxidation are exempt from this requirement. Commentary - Other sections of the code require items such as walls, doors, windows and architectural trim to be maintained in good repair and condition. This section makes it clear that if paint or other protective covering or treatment is used to provide protection from the elements, it cannot be peeling, flaking or chipped. Additionally, buildings with deteriorated paint or with masonry joints and siding in disrepair or not weather tight will eventually decay and exert a blighting influence on the community.

^{xi} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - 1015.2 Where Required. Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xii} **304.6 Exterior Walls.** Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. Commentary - Holes, cracks, decayed wood or any other condition that permits rain or dampness to enter the structure must be repaired. Exterior surface materials must be properly coated to prevent deterioration if they are not naturally decay resistant. Many materials do not require surface coating, including: certain metals (aluminum, copper, etc.); masonry products (bricks, stone, stucco, etc.); naturally, decay-resistant woods (redwood, cedar, etc.); and woods that have been treated with chemicals to prevent decay.

^{xiii} **304.6 Exterior Walls.** Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. Commentary - Holes, cracks, decayed wood or any other condition that permits rain or dampness to enter the structure must be repaired. Exterior surface materials must be properly coated to prevent deterioration if they are not naturally decay resistant. Many materials do not require surface coating, including: certain metals (aluminum, copper, etc.); masonry products (bricks, stone, stucco, etc.); naturally, decay-resistant woods (redwood, cedar, etc.); and woods that have been treated with chemicals to prevent decay.

304.7 Roof and Drainage. The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xiv} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.

^{xv} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - **1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xvi} **305.1 General.** The interior of a structure and equipment therein shall be maintained in good repair, structurally sound, and in a sanitary condition. Commentary - The interior of a structure and its equipment must be maintained so as not to adversely affect the occupants' health and safety. A structure must protect occupants from the exterior environment.

^{xvii} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.

^{xviii} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - **1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xix} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed, or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected. Commentary - Water damage results from leaking roofs, plumbing fixtures and water pipes, and also damaged or open windows and doors that permit rain to enter. Any damaged interior surfaces are required to be repaired and the cause of the damage must be corrected.

304.7 Roof and Drainage. The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xx} **308.1 Accumulation of Rubbish or Garbage.** The interior of every structure shall be free from excessive accumulation of rubbish or garbage.

702.1 General. A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the International Fire Code.

^{xxi} **305.4 Stairs and Walking Surfaces.** Every stair, ramp, landing, balcony, porch, deck or other walking surface shall be maintained in sound condition and good repair.

^{xxii} **304.7 Roof and Drainage.** The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xxiii} **106.1 General**

This section shall apply to existing structures which are classified as unsafe or unfit for human occupancy. All conditions causing such structures to be classified as unsafe or unfit for human occupancy shall be remedied or as an alternative to correcting such conditions, the structure may be vacated and secured against public entry or razed and removed. Vacant and secured structures shall still be subject to other applicable requirements of this code. Notwithstanding the above, when the code official determines that an unsafe structure or a structure unfit for human occupancy constitutes such a hazard that it should be razed or removed, then the code official shall be permitted to order the demolition of such structures in accordance with applicable requirements of this code.



Ramada Inn Observations Documentation



RAMADA INN

MOSELEYARCHITECTS

SCOPE OF SERVICES

Moseley Architects was hired to visit the property at 380 East Washington Street for the purpose of making observations of the existing site, exterior and interior of the existing building, and existing attached parking deck. The goal of our observations, if applicable, was to identify structural and non-structural deficiencies, damage, deterioration, and/or conditions which, in our opinion, could be classified as current or potential life safety hazards and/or potential code or city ordinance violations. We prepared this documentation which contains the following observations and opinions.

METHODOLOGY

On-site surveys were conducted on November 06, 2020 and January 19, 2021, by a team of licensed professionals at Moseley Architects.

The team for these surveys consisted of multiple disciplines, including licensed Structural Engineers, a licensed Electrical Engineer, and a licensed Architect. The observations were conducted by walking throughout the facility both inside and outside, and documented with notes and/or photographs.

PREMISES



PURPOSE

The City would like to be able to determine the extent of potential violations and/or whether the facility could be classified as “unsafe” in accordance with the 2015 Virginia Maintenance Code (VMC). The City may utilize this Ramada Inn Observation Documentation (RIOD) as additional information and support for compelling the owner to make repairs or to consider demolition of the existing building and parking deck.

EXECUTIVE SUMMARY

The building and surrounding grounds have been, and may continue to be, accessed by the public (e.g., numerous graffiti (including one that appears to be dated in 2019 located in the parking deck) and apparent dumping) and the perimeter fence has at least one opening large enough for individuals to access the property; thus this property could be classified as “unsecured” and therefore, could be deemed as “unsafe” as defined by VMC and the Petersburg City Code (PCC).

- o VMC Section 202 - UNSAFE STRUCTURE. A vacant existing structure unsecured or open shall be deemed to be an unsafe structure.
- o PCC Section 22-143: Unsafe structure shall mean an existing building or other structure which fails to comply with the USBC through damage, deterioration, infestation, improper maintenance, or for other reasons, and which thereby has become unsanitary. All structures which fall within the definition of an unsafe structure, as defined above, are hereby declared to be public nuisances and unfit for human habitation.

Also, if the property is determined as “unsecured,” then there are a number of hazardous conditions both on the site and within the building itself (e.g., improper guards within the parking deck and inside the building at numerous locations); and therefore, could be deemed as “unsafe” as defined by VMC Section 202.

Even if the premises are considered “secured,” there are other VMC and PCC provisions that potentially may be applicable.

- o VMC Section 106.1: Vacant and secured structures shall still be subject to other applicable requirements of this code.
- o VMC Section 301.3: Vacant structures shall be maintained in a clean, safe, secure, and sanitary condition as provided for in the VMC.
- o PCC Section 22-140: A description of the measures that will be taken while the building is vacant to ensure that the property is maintained in compliance with all applicable building and health codes.

It is our understanding that the existing premises do not have continuous utilities (water, power, sanitary, sewer, etc.) serving the property, and while most of the building has been "gutted," some system infrastructure do remain. The facility shows numerous signs of disrepair and neglect. Therefore, this property could be classified as a structure unfit for human occupancy as defined by the VMC and/or PCC.

- o VMC Section 202 - STRUCTURE UNFIT FOR HUMAN OCCUPANCY. An existing structure determined to be dangerous to the health, safety and welfare of the public because of the degree to which the structure is in disrepair or lacks maintenance or other essential equipment.
- o PCC Section 2-196: "Derelict building" shall mean a building or structure that might endanger the public's health, safety, or welfare and for a continuous period in excess of six months, has been (i) vacant, (ii) boarded up in accordance with the building code, and (iii) not lawfully connected to electric service from a utility service provider or not lawfully connected to any required water or sewer service from a utility service provider

The premises are not being *maintained* in accordance with the VMC and PCC.

- o VMC Section 202 - MAINTAINED. To keep unimpaired in an appropriate condition, operation, and continuance as installed, and in accordance with the applicable operational and maintenance provisions of the VMC.
- o PCC Section 22-157: Blighted property shall mean and refer to any property with buildings or improvements which, by reason of dilapidation or obsolescence are detrimental to the safety, health, morals, or welfare of the community. Dilapidation shall mean the condition of property resulting from inadequate maintenance that contributes to unsafe site or building conditions, or that gives the appearance of unsafe site or building conditions.

Based on the preponderance of apparent VMC and PCC violations identified herein or previously identified by the Petersburg code official(s), especially if the premises are determined to be unsecured, it would appear the City should be able to prepare a report in accordance with VMC Section 106.3 demonstrating the existing conditions constitute a hazard to the public.

OBSERVATIONS AND OPINIONS

This section contains photos taken of the existing property with remarks or opinions associated with such photos to support the purpose of this documentation.

Architectural

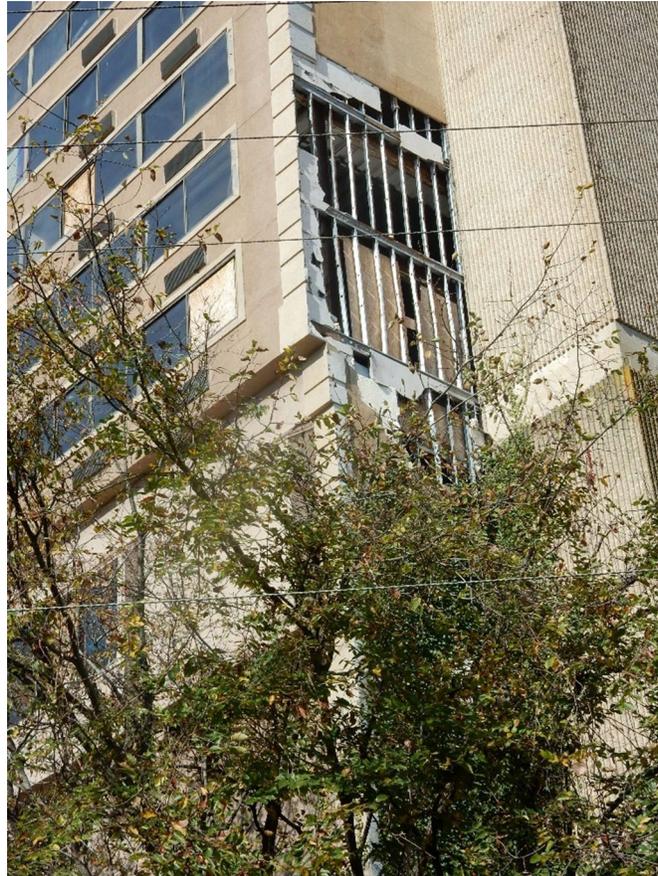
The exterior wall assembly demonstrated numerous locations where water, air, and/or vapor infiltration, along with thermal conductivity appears to be an ongoing issue. Such conditions most likely would allow moisture into the exterior wall assembly and within the interior of the building itself, thus ultimately contributing to the potential failure of the exterior wall assembly and surrounding building components and serve as conditions conducive to the growth of mold and mildew if not remedied and maintained.

Examples of exposed exterior wall assembly



VMC Section 103.2: Buildings, structures and systems shall be *maintained* and kept in good repair in accordance with the requirements of the VMC.

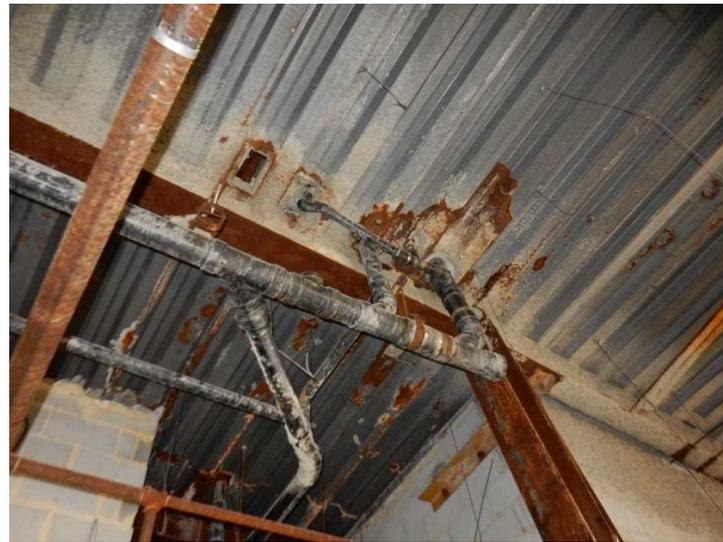
Example of missing exterior veneer



VMC Section 103.2.3: The owner shall maintain all buildings, structures, systems, facilities and associated equipment in compliance with the VMC.

Continued deterioration can potentially cause catastrophic failure, especially if the premises are unsecured.

Examples of deterioration



VMC Section 202 - DETERIORATION. To weaken, disintegrate, corrode, rust or decay and lose effectiveness.

Continued standing water (lack of drainage) can potentially cause infestation of disease-bearing insects and/or vermin.

Examples of infestation (or the potential thereof)



VMC Section 202 - INFESTATION. The presence of insects, rodents, vermin or other pests.

If the premises are determined to be unsecured, such debris can potentially become a hazard to anyone traversing the premises, especially where there is broken glass.

Examples of rubbish



VMC Section 202 - RUBBISH. Combustible and noncombustible waste materials; the term shall include combustible materials, paper, rags, cartons, boxes, wood, excelsior, rubber, leather, tree branches, yard trimmings, tin cans, metals, mineral matter, glass, crockery and dust and other similar materials.

Even though it is our understanding that all utilities, including power, has been shut off, such equipment could still pose a hazard, especially if the premises are determined to be unsecured.

Examples of potentially unsafe equipment



VMC Section 202 - UNSAFE EQUIPMENT. Unsafe equipment includes any boiler, heating equipment, elevator, electrical wiring or device, flammable liquid containers or other equipment that is in such disrepair or condition that such equipment is determined by the code official to be dangerous to the health, safety and welfare of the public.

A possible access point in the perimeter fence.

Unsecured perimeter fencing



VMC Section 202 – UNSAFE STRUCTURE. A vacant existing structure unsecured . . . shall be deemed to be an unsafe structure.

The parking deck is full of debris and potentially hazardous materials (e.g., broken glass), and if determined to be unsecured, poses a potential hazard to those who access these locations..

Examples of debris in the parking deck



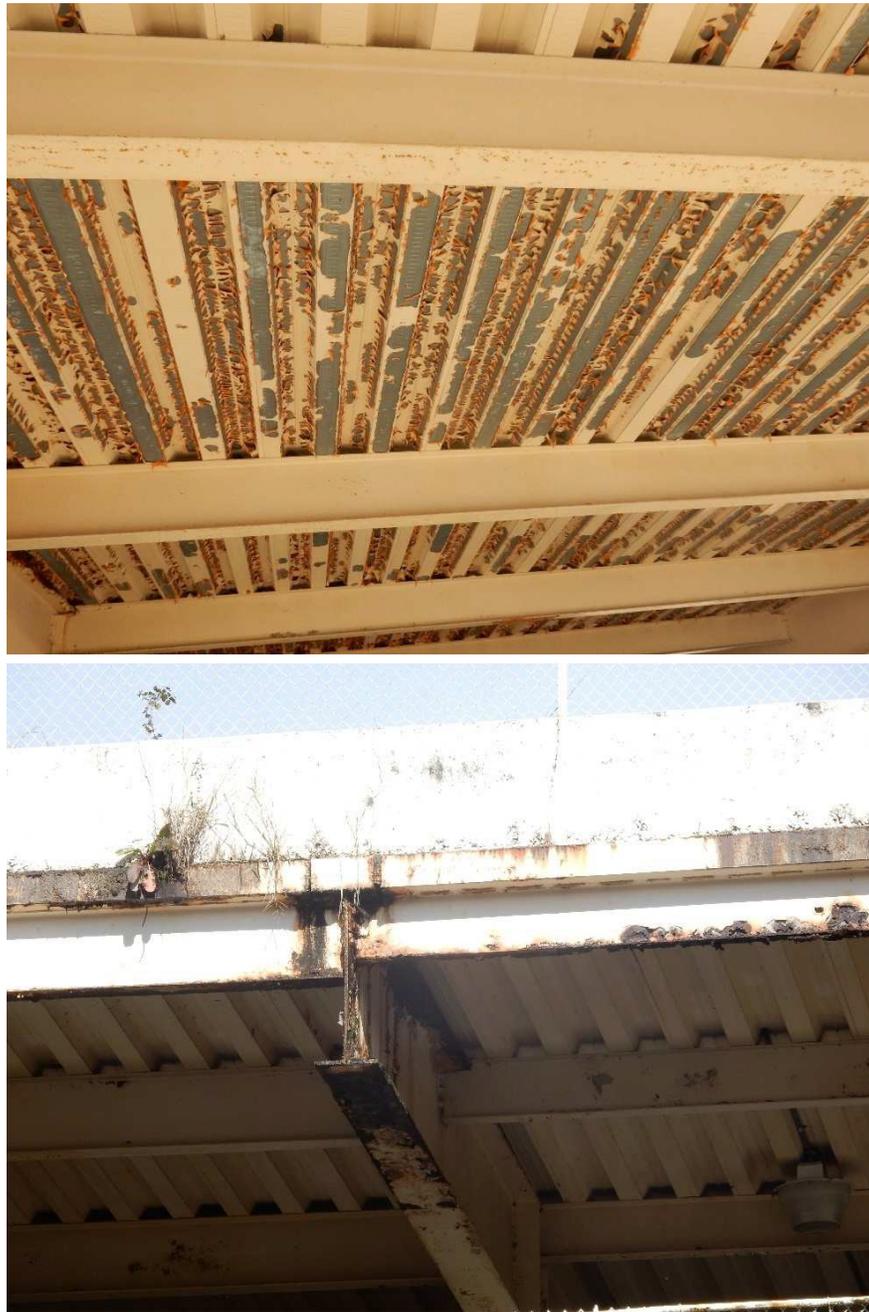
VMC Section 302.3: All parking spaces and similar spaces shall be kept in a proper state of repair and maintained free from hazardous conditions.

Examples of disrepair on the exterior of the building



VMC Section 304.1: The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health, safety, or welfare.

Examples of deteriorating structural members



VMC 304.4: Structural members shall be maintained free from deterioration and shall be capable of safely supporting the imposed dead and live loads.

If the interior is considered unsecured, the openings in the exterior walls pose an imminent hazard to life and safety as one could easily fall through.

Examples of openings within the exterior walls



VMC Section 304.6: Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

Continuous ponding of water, without the required maintenance, could ultimately deteriorate the roofing to the point of failure. Also, the vast majority of roofing demonstrated a “softness” of the roof insulation when walking over it, suggesting the underlying insulation was wet and therefore, no longer serving as a thermal barrier.

Example of ponding of water on roof and openings that potentially allow water into interior



VMC Section 304.7: The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure.

Deteriorating canopy



VMC Section 304.9: Overhang extensions including, but not limited to, canopies . . . shall be maintained in good repair and be properly anchored so as to be kept in a sound condition. Where required, all exposed surfaces of metal . . . shall be protected from the elements and against decay or rust by periodic application of weather-coating materials, such as paint or similar surface treatment.

If the exterior premises are determined to be unsecured, numerous locations of the existing fencing along the perimeter of the parking deck was either loose or incapable of resisting against the required imposed loading, including the wooden and plastic-type “guards” around the “pit” area.

Examples of loose (easily push against them) and/or inadequate guards



VMC Section 304.12: Every . . . guard shall be firmly fastened and capable of supporting normally imposed loads . . .

Examples of window disrepair



VMC Section 304.13: Every window and frame shall be kept in sound condition, good repair and weather tight.

VMC Section 304.13.1: Glazing materials shall be maintained free from cracks and holes.

If the interior premises are determined to be unsecured, there are numerous locations where materials have been removed but the floor openings have not been protected against the potential of falling through, including the main elevator shaft.

Examples of unprotected floor openings





If the exterior premises are determined to be unsecured, there is an entire section of the parking deck that does not have any guards; and elsewhere, has “guards” around the “pit” area that are not capable of sustaining the required imposed loading.

Examples of improper and/or missing guards



VMC Section 307.1: [G]uards required by the applicable building code or which were provided when a building was constructed shall be maintained.

The next grouping of photos potentially demonstrates noncompliance with the cited Petersburg City Code (PCC) section.

Examples of "boarding up" of windows/openings



PCC Section 2-196: "Derelict building" shall mean a building or structure that might endanger the public's health, safety, or welfare and for a continuous period in excess of six months, has been (i) vacant, (ii) boarded up in accordance with the building code, and (iii) not lawfully connected to electric service from a utility service provider or not lawfully connected to any required water or sewer service from a utility service provider.

Examples of debris



PCC Section 50-62: Any condition of any premises which is offensive, unwholesome, unsanitary is hereby declared a nuisance. This includes the keeping or the depositing on, or the scattering over the land or premises of any lumber, trash, junk, and debris.

Example of offensive condition
suggesting possible access between 2016-2021
(photo has been edited to delete two letters)



PCC Section 50-62: Any condition of any premises which is offensive, unwholesome, unsanitary is hereby declared a nuisance.

Example of overgrowth



PCC Section 50-63: The existence of any weeds, bushes, grass or other vegetable matter upon any premises which exceeds a height of 12 inches is hereby declared a nuisance.

Electrical

We were advised there is no active electrical service to the building. Should the premises (either the exterior and/or the interior) be determined to be unsecured, the quantity of potentially operational lighting throughout the parking area/deck do not illuminate the parking area/deck. Many poles had been disconnected and/or removed from their pole bases. Lack of electrical service would indicate there is no egress lighting at points of discharge and also within the building, which would be a violation of VMC Section 702.1. No backup power generation was observed, which would not provide power to fire detection and life safety systems in the event of a normal power outage, as may be required by VMC Section 704.1 if the facility is determined to be unsecured.

The interior electrical distribution system was not operational and has deteriorated over the years. The secondary conductors are not connected and all copper feeders to distribution panels throughout the facility have been removed. There is no operational electrical system within the building. The existing distribution switchboard is rusted and in disrepair.

Examples of electrical system deterioration





VMC Section 604.3: Where it is found that the electrical system in a structure constitutes a hazard to the occupants or the structure by reason of deterioration or damage or for similar reasons, the code official shall require the defects to be corrected to eliminate the hazard.

Other potential violations of the 2015 Virginia Maintenance Code (VMC) as they relate to the observable *exterior and interior* electrical systems, especially if the premises are determined to be unsecured, include:

- Section 605.1 Electrical Components
 - Electrical equipment, wiring, and appliances shall be *maintained* in accordance with the *applicable building code*.
- Section 605.2: Power Distribution and receptacles
 - Required or provided power circuits and receptacles shall be *maintained* in accordance with the code under which constructed and ground fault and arc-fault circuit interrupter protection shall be provided where required by the code in effect at the time of construction.
- Section 605.3: Lighting Distribution and luminaires
 - Required or provided lighting circuits and luminaires shall be *maintained* in accordance with the *applicable building code*.
- Section 704.1: Fire Protection Systems – General
 - Systems, devices, and equipment to detect a fire, actuate an alarm, or suppress or control a fire or any combination thereof shall be *maintained* in an operable condition at all times.

Structural

The parking deck construction, consisting of a structural steel frame with concrete slab on composite steel deck, is susceptible to corrosion due to exposure to the elements if not properly and routinely maintained. In many areas, the protective paint and primer on steel components were observed to have peeled away from the steel surfaces. In several of these cases, significant corrosion was observed as described within this report.

Numerous openings and pathways for water to enter the building were observed as noted in the Architectural Observations. Structural elements within the building, and especially located within the exterior wall system, are unlikely to have exterior rated protective coatings, making them especially susceptible to corrosion when exposed to water or other weathering elements. Multiple instances of deterioration were observed inside the building, as described within this document.

The corrosion observed in the parking decks and interior building structure may impact the load carrying capacity of the structural elements. Additionally, long term exposure to water infiltration and exposure to the elements will lead to further deterioration.

Potential violations of the 2015 Virginia Maintenance Code (VMC) as they relate to observed exterior and interior structural components are:

- Section 304.1: General
 - o The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health safety, or welfare.
- Section 304.4: Structural Members
 - o Structural members shall be maintained free from deterioration, and be capable of safely supporting the imposed dead and live loads.
- Section 304.5: Foundation Walls
 - o Foundation walls shall be maintained plumb and free from open cracks and breaks and shall be kept in such condition so as to prevent the entry of rodents and other pests.
- Section 304.6: Exterior Walls
 - o Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.
- Section 305.1: General
 - o The interior of a structure and equipment therein shall be maintained in good repair, structurally sound, and in a sanitary condition.

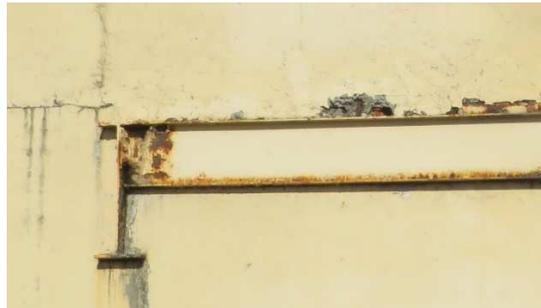
- Section 305.2 Structural Members
 - Structural members shall be maintained structurally sound, and be capable of supporting the imposed loads.

Partially demolished canopy structure



At the West end of the building, part of a partially demolished canopy remains standing. This framing was likely not intended to be exposed and does not appear to have an exterior-rated coating. The original framing was likely a series of cantilevered beams, each supported by two columns. Four beams remain which have each been cut off at the column nearest the building, such that the cantilevered part of the beams remain supported by only one column each. The beam nearest the front of the building appears to have rotated from level. Portions of concrete deck appear to be unsupported and display significant amounts of deflection. The remaining construction is partially over an entry walkway, and also serves as the support structure for the floor and roof of the Chlorine room. This construction may not be at imminent risk of collapse but could be considered an unstable condition.

Examples of deterioration of the Parking Deck – perimeter structure



Significant corrosion is visible on the structural steel beams and ends of supporting girders along the perimeter, including the beam-to-girder connections. Beams and girders at the west end are partially encased in the cast-in-place concrete wall. The corrosion of this steel due to exposure to the elements and associated rust expansion has caused damage to the concrete wall. Concrete has spalled above the 2nd level beam and cracking has developed adjacent to the top of the girder.

Examples of deterioration of the Parking Deck – slab edge



Corrosion is visible at the edge of the parking deck slab along much of the perimeter, where the slab edge angle meets the top flange. In several areas, vegetation is growing along the slab edge and on the beams. Closer observations of these elements was limited without a lift or tall ladder, thus the extent of the damage to these structural elements could not be determined.

Example of deterioration of the Parking Deck – column base



Concrete at the base of column has cracked and spalled, exposing the base plate and anchor bolts to water infiltration and potentially ponding. Discoloration indicates corrosion may be occurring beneath the remaining concrete; however, the level of corrosion was not observable.

Examples of deterioration of the Parking Deck – corrosion of beam flanges



In several locations, significant corrosion including delamination of the top and/or bottom flanges of steel beams was observed. Deterioration of this nature and extent can significantly impact the structural load carrying capacity of the beam.

Examples of deterioration of the Parking Deck –
composite steel floor deck



Significant corrosion and loss of section of steel floor deck was observed in multiple locations. In several of these instances, the deck had deteriorated such that the concrete was visible from below. The existing steel floor deck appears to be composite-type. This type of deck acts as steel reinforcement to resist the tensile stresses at the bottom of the slab. Where the steel floor deck has deteriorated, significant loss of load carrying capacity can be expected.

Example of deterioration of the Parking Deck – beam deterioration



Bottom flange has separated from beam for approximately 1/3 of the span. Significant corrosion was observed at the top flange of this beam and in the adjacent steel floor deck and girder. The load carrying capacity of the structure in this area is significantly diminished from its original condition.

Examples of deterioration of the Parking Deck – beam deterioration



Corrosion has resulted in full-thickness loss of section in several locations along the beam. Significant corrosion was observed at the top flange of this beam and adjacent steel floor deck. The load carrying capacity of the structure in this area is significantly diminished from its original condition.



Corrosion has resulted in loss of section of bottom flange at a cantilevered beam connection to the top of the column. Peeling of paint and discoloration from corrosion below the paint was observed. Reduction of load carrying capacity is likely at this location.

Example of deterioration of the Parking Deck – paint and primer



Peeling of paint and primer on steel floor deck, beams, and columns observed in several locations. While no corrosion was noted in these areas at the time of observation, continued exposure to the elements could result in future corrosion.

Examples of deterioration of the Parking Deck – deck repair



Corrosion of the steel floor deck has resulted in loss of a complete deck flute across two spans. The adjacent deck flute at each span has broken away from the beam support. Concrete above appears to have been removed and replaced. The steel deck at the apparent repair does not appear to have been repaired nor replaced, and the concrete appears to have been poured on top of a white tarp-like material. This material does not appear to be structural in nature, and it is not apparent if reinforcing was added in the concrete patch. Thus, the structural capacity of this condition is unlikely to be adequate for the required loading.

Example of deterioration of the Parking Deck –
steel beam bearing at concrete



In several locations, significant concrete spalling was observed at steel beam bearing locations, exposing part of the beam bearing plate and anchor studs. The load carrying capacity of this condition is significantly reduced. In some of these locations, significant concrete spalling above the beam in the concrete barrier was observed. The capacity of the concrete barrier is likely significantly reduced.

Example of deterioration of the Parking Deck – pipe penetration



Corrosion was observed in steel deck at a vertical drainpipe penetration. Deterioration was noted around the cut opening, and no supplemental framing to support the interrupted steel deck was observed.

Example of deterioration of the Building – façade openings



In several locations, openings of various sizes were observed in the building façade. Although this presents a direct path for water to enter the building, little to no corrosion was observed in the observable steel framing at the time of observations.

Example of deterioration of the Building – stair landing



At the West stair landing leading to the lower floors, corrosion in the steel stair pan appears to have resulted in significant loss of section. Load carrying capacity of this landing may be reduced.

Example of deterioration of the Building – standing water



At the lower basement level, standing water was observed on the floor in several locations. Standing water may lead to corrosion of steel column base plates and other structural components.

Example of deterioration of the Building – fireproofing damage



At the lower basement level, fireproofing has detached from steel beams in several locations. Fire rating of structure may be impacted.

Example of deterioration of the Building – elevator pit



At the East elevator, an indeterminate amount of standing water was observed at the base of the service elevator. Standing water may cause corrosion to elevator and other components in the pit area.

Example of deterioration of the Building – steel floor deck corrosion



Significant corrosion was observed in the steel floor deck near the East elevator. Similar corrosion was observed at all floors where the deck was observable and exposed to view. In these instances, the deck has deteriorated such that the concrete is visible from below. The existing steel floor deck appears to be composite-type. This type of deck acts as steel reinforcement to resist the tensile stresses at the bottom of the slab. Where the steel floor deck has deteriorated, significant loss of load carrying capacity can be expected.

Example of deterioration of the Building – basement



At the lower basement level, several extensive areas of apparent water damage and mold were observed at the interior gyp board furring against the basement foundation wall. It is unclear whether the water may be migrating through the concrete foundation wall, coming up from the floor, and/or making its way down from an upper level.

Examples of deterioration of the Building – pipe penetrations



In several locations on each floor where the steel deck was observable, multiple pipe penetrations within close proximity to one another were observed to penetrate the floor. At these locations, multiple adjacent flutes of steel deck were penetrated, and no supplemental framing was observed to support the interrupted deck. Also, at these locations, significant corrosion of the steel floor deck was observed. In several instances, the deck has deteriorated such that the concrete is exposed to view. The load carrying capacity of the floor deck at these locations may be significantly reduced.

Example of deterioration of the Building – Chlorine Room



At the Chlorine Room, off of the West stair, the floor appears to have moved away from the building. This may be due to movement caused by the partial demolition of the canopy described earlier in this document.

Examples of deterioration of the Building – steel floor deck corrosion



At several locations on several floors, corrosion and deterioration of steel floor deck was observed near single pipe penetrations. This deterioration may result in loss of structural load carrying capacity of the floor.



At several locations on several floors, corrosion of steel floor deck was observed at the top of floor beams and trusses. Continued corrosion may lead to deterioration of the floor and beams, which in turn may lead to loss of load carrying capacity.

Examples of deterioration of the Building –
steel beam and column corrosion



At several locations on several floors, corrosion of steel beams and columns was observed. This corrosion appears to have caused surface deterioration of the beam and column webs and flanges.

Example of deterioration of the Building – truss gusset plate



Gusset plate of floor truss has been damaged. This may result in reduced load carrying capacity at this location.

Example of deterioration of the Building – steel floor deck damage



Section of steel floor deck is missing, and a portion of the concrete floor appears to be separated from the rest of the concrete. Load carrying capacity of this section of floor is likely significantly reduced.

Examples of deterioration of the Building – upper floor walls and ceilings



At the upper floor levels, where internal demolition was not completed, several extensive areas of apparent water damage and mold were observed at the interior demising walls and ceilings. Exposure of the floor trusses inside the walls and above the ceilings to moisture may lead to corrosion and deterioration.

Example of deterioration of the Building – roof deck



Corrosion was observed on the underside of the steel roof deck in several areas, indicating potential water infiltration of the roofing materials above. Continued corrosion may lead to deterioration and loss of material in the deck.

BACKGROUND

380 E. Washington St. was an attempt to revitalize a property that has been dormant or declining for several years. Built in 1973, the hotel originally was a Ramada Inn. It has switched names several times, most recently when it converted to Fort Lee Regency in 2010. The hotel closed in 2012 and was owned by the city, but was sold to C.A. Harrison Companies for \$750,000, the sale was signed March 30, 2018 and closed April 2, 2018. It has since sat dormant. The original hotel:



1973 – The hotel building at 380 E Washington Street was constructed and opened as a Ramada Inn. The 9-story steel frame building totals 86,985 square feet on a 2.32-acre parcel.

6/4/1998 – The property was purchased by Petersburg Regency, LLC.

2012 – The building closed and ceased operation as a hotel.

6/30/2014 – The City of Petersburg purchased the building in a tax sale for \$176,745, the amount of delinquent taxes owned on the property.

8/6/2015 – The City received a Letter of Intent from CA Harrison Co. to purchase the property for \$500,000.

12/22/2015 – Groundbreaking ceremony held by Chris Harrison and members of council.



12/23/2015 – Officials announced plans to redevelop 380 E. Washington Street as Maryland-based developer C.A. Harrison Companies, LLC was selected to develop the site into a hotel-anchored mixed-use development, complete with apartments, retail and office space and a restaurant. The proposed project budget was between \$20 to \$25 million, and the project was initially projected to be completed in mid-2017.

04/05/2016 – Following a Public Hearing, the City Council adopted 16-Ord-16 the disposition of the properties located at 326, 380 and 400 E. Washington St. further identified as tax parcels 012-330010, 012-290001 and 012-290002.

08/17/2016 – Following a Public Hearing, the City Council adopted 16-Ord-33, to adopt the Tourism Development Plan Developed in conjunction with the Commonwealth of Virginia's Tourism Development Financing Program, to endorse a proposed tourism project (the hotel project at 380 E Washington St proposed by CA Harrison Co.), and to authorize other actions consistent with State Tourism Gap Financing.

9/1/2016 – City awarded \$600,000 loan through the Virginia Industrial Revitalization Fund program for the hotel development project (funding was not used for the project).

8/7/2017 – City executed Virginia Brownfields Restoration and Economic Redevelopment Assistance Fund (VBAF) grant agreement totaling \$350,000, of which \$275,000 was spent to abate lead and asbestos found in the building during an Environmental Assessment conducted by the Developer.

9/23/2017 – City was informed by the Virginia Tourism Corporation that the Tourism Plan was not approved and the requested gap financing for the hotel project would not be available.

04/02/2018 - The property known as 380 E Washington Street was sold to Virginia Hotel Development Group LLC.

05/07/2018 - The C.A. Harrison Companies, LLC applied for the Zone 10 Central Business District Enterprise Zone. Christopher Harrison signed as the applicant and as the owner and noted he is also a Managing Member of the mentioned LLCs. It was stated on this application that Phase I of development would start in June 2019, and there would be two additional phases to complete this project.

04/16/2019 – Richmond BizSense reported E-Comm, LLC filed suit against C.A. Harrison Companies for non-payment of interior demolition and asbestos remediation. Included in the lawsuit is Commonwealth Architects suing Harrison’s companies for unpaid services related to the project. Renderings of the projected development are below.

From Richmond Bizsense:

“As a Richmond architecture firm keeps up its legal fight against the developer behind a delayed hotel rehab in Petersburg, a second lawsuit likewise alleging nonpayment on the project has been filed by another area business. E-Com LLC, a Midlothian-based engineering consulting firm, filed suit last month against C.A. Harrison Cos. and other parties involved in the planned redevelopment of the former Ramada Inn along Interstate 95, alleging it is owed the bulk of a \$450,000 contract for interior demolition and asbestos remediation. The suit, filed March 20 in Petersburg Circuit Court, seeks a judgment of more than \$1 million, further alleging that company principal Chris Harrison and others conspired in a scheme to defraud state agencies that awarded the project grant funds and to damage E-Com’s reputation while benefiting from its work.”

Ramada Inn Observations Documentation
380 East Washington Street, Petersburg, VA 23803



05/08/19 – From the Progress – Index:

“Chris Harrison might have not had too much to say recently about the former Ramada Inn property he owns, but when he showed up at Tuesday’s City Council meeting, councilors were anything but silent with their frustrations about progress on what is perceived as an eyesore on Interstate 95. The emotions they showed ranged from frustration over lack of communication about the project’s progress to questioning why it fell down the list of Harrison’s priorities. One councilor even noted how the property has become part of the upcoming 16th Senate District Democratic primary.”

10/16/2019 – Code mailed a certified Notice to Secure and an NOV to the Virginia Hotel Development Group LLC. Neither notice received a response.

10/31/2019 – The Fire Marshal hand-delivered an Official Notice to the contractor on site, Richard Miller, ordering the occupant and owner C.A. Harrison Companies LLC, C.A. Harrison to remove loose materials that could endanger life or damage property, and to properly secure the entire building and lot to prevent entry. This order was partially followed.

11/01/2019 – CBS 6 reported on loose materials falling off. Per CBS 6:

“Petersburg Mayor Sam Parham says he and City Council are tired of the lack of progress in renovating the old Ramada Inn, a shuttered hotel between East Washington and Wythe streets, just west of I-95. On Thursday, CBS 6 reported Petersburg Fire Department and the Fire Marshal’s Office responded to the vacant hotel after a citizen spotted a piece of the hotel dangling. Officials said an estimated 24 feet long by 10 feet wide piece eventually fell in some trees below. Petersburg Fire Marshal Jim Reid even expressed safety concerns about unsecured pieces on the building.”

12/03/2019 – Code mailed a new certified NOV and posted a copy to the property as a second attempt to make contact and gain compliance. This notice received a response 40 days after posting.

01/07/2020 – The Fire Marshal, with the assistance of the Code Office, took out six criminal summons for Chris A. Harrison.

01/13/2020 – Code received a phone call from Chris Hanna, a business partner of Mr. Harrison. He stated they never received any of the previous notices but did receive the copy left on site and wanted to discuss a plan to bring the property into compliance. Mr. Hanna stated he wanted to develop a plan to bring the hotel into compliance. However, completing all items on the inspection report would not be possible until they began construction. Shortly after, Mr. Hanna stated he was unable to convince Chris Harrison to make the discussed minimal repairs.

The Progress-Index reported Harrison had lost funding sources for the project and has called out the city for the summonses taken out and its potential to further stall the project. From the Progress-Index on the same day, 01/13/2020:

“The owner of the former Ramada Inn property has called the city “hypocritical” for issuing summonses against him, saying Petersburg is not advancing progress on the project by singling him out in public as a focal point of blight. In an interview with The Progress-Index last week, Chris Harrison blamed much of the lack of advancement on the old high-rise building on losing funding sources for the project. While he is confident that he can replace those funding sources, Harrison said publicity generated over the former hotel is not helping matters.”

01/23/2020 – An unofficial quote to demolish the old hotel was sought to weigh all options for compliance. The amount proposed was \$900,000. This was only an estimate and was based on what was viewable from the exterior of the building and previous findings from an inspection several years prior.

From: Stephen McCloud
Sent: Thursday, January 23, 2020 4:10 PM
To: jhines@petersburg-va.org
Subject: Washington St Hotel (Old Ramada Inn)

Howie,

A budget number to demolish and dispose of the Old Ramada Inn located on Washington Street in Petersburg would be \$900,000.00.
Price would vary depending on current condition compared to our last visit a few years ago and how the site would need to be finished.

Let me know if you have any questions or if you would like to schedule a visit to firm up any numbers.

Thanks,

[Steve](#)

[Stephen V. McCloud](#)
President

02/24/2020 – Code mailed a certified and a standard updated NOV with civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, C.A. Harrison Companies LLC. Thomas Williams signed for the mail and the green card was returned. We also posted the notice to the hotel's property.

04/23/2020 – Code mailed a certified and standard first round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC, for \$1000.00. The returned green card was signed by 1626 C19.

05/08/2020 – Economic Development went to Washington DC to meet with Chris Harrison and Chris Hanna and began discussing their options with the Ramada. Hanna requested a moratorium on the civil penalties.

05/11/2020 – After no response or payment, Code mailed a certified and standard second round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC, totaling \$2,500.00 due. The Postal Service confirmed delivery on May 14.

05/22/2020 After no response or payment, Code mailed a certified and standard third round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$4,000.00 due. The returned green card was signed by Barbara (last name not legible).

6/15/2020 – Code received payment for the current civil penalties, in full. With this payment, it was agreed Harrison would receive 30 days of no civil penalties and in return, he would provide Economic Development with a conceptual plan for market-rate apartments at the old Ramada site by 7/15. This deadline was missed.

7/24/2020 – Harrison continued promising he had plans in the works that were almost complete. Code continued to hold on issuing civil penalties for the moment.

08/03/2020 - Harrison has now refused to send any documents showing he has begun any preliminary planning or made conceptual drawings. Code was directed to begin civil penalties again. Code mailed a certified and standard fourth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$1,500.00.

08/13/2020 - After no response or payment, Code mailed a certified and standard fifth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$3,000.00 due.

08/25/2020 - After no response or payment, Code mailed a certified and standard sixth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$4,500.00 due. Code will continue issuing civil fines.

09/11/2020 – The Economic Development Director has reached out to Mr. Harrison by email for any updates relating to the proposed market rate apartments.

“Good afternoon Chris,

I know it's been awhile since our last communication, but I wanted to follow up again to see if you were still interested in creating a market rate apartment building at the Hotel. I still feel it's a good play and would be a great addition to the market.

Please advise this coming week if there is any interest on moving forward.

Best regards,

Carthan”.

Signed:

Bradley Shupp, Property Maintenance Official

Carthan Currin, Economic Development Director

Frank Poulin, Neighborhood Services Director

Kelly Evko, Assistant to the City Manager

John ‘Howie’ Hines, Building Maintenance Official

Reginald Tabor, Interim Director of Planning and Community Development

Cc: Lionel D. Lyons, Deputy City Manager for Development and Operations

To summarize - if the property can be accessed and is not secured against public entry (regardless of the “No Trespassing” signs), there are numerous locations throughout the property that could lead to potentially serious injuries to those who access such locations, including, pedestrians, drivers, utility workers, and/or first responders - until and unless such acceptable remediation is achieved. If the property were considered secured against public entry and because the property does not have any active utilities, it is possible that if the property needed to be accessed by emergency first responders, the potential exists where such responders could be seriously injured as a result of the condition of the property in certain locations.

END OF DOCUMENT



CITY OF PETERSBURG

PLANNING & COMMUNITY DEVELOPMENT

CODE COMPLIANCE DIVISION

106 W. TABB STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

EXTERIOR HOUSING REPORT

Location: 380 E Washington Street

Property Owner: Virginia Hotel Development Group LLC, and/or
Christopher A. Harrison, and/or C.A. Harrison
Companies LLC

Property Owner Address: 5301 Westbard Circle, Ste 147, Bethesda, MD 20816

Parcel ID: 012-290001

Exterior Code Section	Compliance	Inspectors Remarks	Fines
1. Grading and Drainage			
2. Rodent Harborage			
3. Accessory Structures			
4. Protective Treatment			
5. Street Number			
6. Structural Members	No	Structural beams or load bearing walls are rotting or damaged. These will need to be repaired or replaced. 304.4	\$150.00
7. Foundation Walls			
8. Exterior Walls			
9. Roofs and Drainage			
10. Decorative Features	No	Decorative features around home are rotting, missing or broken. These will need to be repaired or replaced. 304.8	\$150.00
11. Overhang Extensions	No	Structures overhang extensions are rotting, broken or missing components. These will need to be repaired or replaced. 304.9	\$150.00
12. Stairs/Walking Surf.			
13. Stairways, Decks, Porches, and Balconies	No	Porch roof, stairs, deck boards or supports are rotting, missing or broken. These will need to be repaired or replaced. 304.10	\$150.00
14. Chimneys and Towers	No	Chimneys, cooling towers, smokestacks, and similar appurtenances are being maintained structurally safe and sound, or good repair.	\$150.00

		Exposed surfaces of metal or wood shall be protected from the elements and against decay or rust. 304.11	
15. Handrails and Guards			
16. Windows			
17. Doors	No	Doors around home are not properly fitted, locked damaged, or missing. These will need to be repaired or replaced. 304.15	\$150.00
18. Basement Hatchways			
19. Rubbish or Garbage	No	Property is littered with rubbish or garbage. Lot will need to be cleared 50-62	\$150.00
20. Sidewalks and Driveways	No	Sidewalks, walkways, stairs, driveways, parking spaces, and/or similar spaces are not free from hazardous conditions. 302.3	\$150.00
21. Glazing	No	Glazing materials shall be maintained free from cracks and holes. 304.13.1	\$150.00
22. Building Security	No	Devices designed to provide security for the occupants and property within are not being maintained and/or have been removed without approval. 304.18	\$150.00
23. Graffiti	No	Structure is painted with graffiti and this has been determined to be a nuisance, which is causing substantial diminution in the value to the property in the neighborhood. Sec. 50-61, Sec. 50.62	
Total			\$1,500.00

Inspector: Brad Shupp

Inspection Date: 03/01/2020





CITY OF PETERSBURG

NEIGHBORHOOD SERVICES CODE COMPLIANCE DIVISION

1340 E WASHINGTON STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

INTERIOR HOUSING REPORT

Location: 380 E Washington Street

Property Owner: Virginia Hotel Development Group LLC, and/or Christopher A. Harrison, and/or C.A. Harrison Companies LLC

Property Owner Address: 5301 Westbard Circle, Ste 147, Bethesda, MD 20816

Parcel ID: 012-290001

Structure	Compliance	Inspectors Remarks	Pending Fines
1. Structural Members	No	<p>305.2 Structural Members</p> <p>Structural members shall be maintained structurally sound, and be capable of supporting the imposed loads.</p> <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> Beam at north east corner had large amounts of scaling surface rust. 	\$100
2. Interior Surfaces	No	<p>305.3 Interior Surfaces</p> <p>Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> The interior south east corner wall has been completely gutted. There are clear signs water has been allowed to enter this area from the damaged facade. 	\$5,300

- A leak from an unknown source is present at the landing of the open staircase. Water can be seen pooling in that location and just above in the ceiling water drops were witnessed falling.

Second Floor

- Door leading to pool deck – The painted surface has been damaged, and signs of rust are present.
- Mechanical room for pool Interior walls are showing signs of deterioration and corrosion.
- Pool pump area – Ceiling has collapsed.
- Water was found pooling on floor near east side of building. Source unknown. Surrounding construction debris was wet as a result.
- Elevator shaft wall was open approximately 1’x2’

Third Floor

- Boards over broken windows have been removed.
- **Support beam 2** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 3** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 4** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 6** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 7** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- South East corner of building has been demolished to the extent that the interior and exterior walls are no longer present. No guards are present to prevent a fall.
- Support beams are showing signs of deterioration where interior and exterior walls were removed.

- Steel framing is showing signs of deterioration where interior and exterior walls were removed.
- Ceiling at east end of building is showing signs of deterioration.

Fourth Floor

- South East corner of building has been demolished to the extent that the interior and part of the exterior wall are no longer present. No guards are present to prevent a fall.

Fifth Floor

- **Support beam 13** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 8** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 6** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 3** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.

Sixth Floor

- 601 - Large uncovered hole in wall.

Seventh Floor

- The plywood at the window on west facing wall near stairwell has been removed. There is no protection from falling outside.
- Hallway - There is a black/grey/tan organic growth on the walls.
- 706 - There is a black/grey/tan organic growth on the walls.
- 708 - There is a black/grey/tan organic growth on the walls.
- 712 - There is a black/grey/tan organic growth on the walls.
- 721 - There is a black/grey/tan organic growth on the walls.
- 723 - There is a black/grey/tan organic growth on the walls.

Eighth Floor

- 722 - There is a black/grey/tan organic growth on the walls.
- 721 - There is a black/grey/tan organic growth on the walls.
- 719 - There is a black/grey/tan organic growth on the walls.
- 715 - There is a black/grey/tan organic growth on the walls.

Western Stairwell Between Levels 8 & 9

- Concrete masonry block is separating. Sunlight is visible in stairwell.

Ninth Floor

- There are holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- There is a black/grey/tan organic growth on the walls.

Roof

- Door to roof is not secure.
- Roof was pooling water in various locations. In most of those locations the roof was soft and spongy
- The guest elevator service door was not secure.
- A plant was found to have grown from the roof in a foam like material.

Sublevel 1

- Incomplete demolition on interior walls has left sharp metal and other materials protruding into cluttered walkways.
- Incomplete demolition on interior ceilings has left sharp metal and other materials protruding into cluttered walkways.
- Water was found pooling on floor near north side of building. Surrounding construction debris was wet as a result.

Arboretum

		<ul style="list-style-type: none"> • Rear glass door has been shattered. <p><u>West Stairwell Sublevel 1 and 2</u></p> <ul style="list-style-type: none"> • Paint on walls are peeling and flaking. • Landing at Sublevel 1 is rusted. Visible between floors. <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> • Large amounts of water were found pool just outside the west side stairwell. • Large amounts of water were also found in the room at the south west corner of the building. • Walls in room located on south west side were damp and an organic growth appeared to be present. • Various tiles are missing from the drop down ceiling. • Service elevator – The painted surface has been damaged, and rust is present. • Service elevator doors are open with no acceptable guard present. Estimated fall – 25’. 	
3. Handrails and Guards	No	<p>307.1 General</p> <p>Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> • There is no safety fence and or incomplete guards at the demolished pool deck. • Existing guard rails around pool deck are showing signs of peeling and flaking paint, rust is present. <p><u>Third Floor</u></p> <ul style="list-style-type: none"> • Part of the walls around the elevator shaft have been demolished. Inadequate guards or no guards are present. 	\$600

		<p><u>Fifth Floor</u></p> <ul style="list-style-type: none"> Eastern wall of the elevator shaft was demolished. Inadequate guards installed. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> Part of the walls around the elevator shaft have been demolished. No guards are present. <p><u>Sublevel 1</u></p> <ul style="list-style-type: none"> The open staircase leading from the 1st floor to sublevel 1 is missing a portion of the handrails. 	
4. Interior Doors			
5. Rubbish or Garbage	No	<p>308.1 Accumulation of Rubbish or Garbage</p> <p>The interior of every structure shall be free from excessive accumulation of rubbish or garbage.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> Incomplete demolition cleanup. Drywall, carpet, HAVC, scaffolding, metal is preventing a clear unobstructed path to exit. <p><u>Second Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Fourth Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Fifth Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Sixth Floor</u></p> <ul style="list-style-type: none"> Hallway - Excessive demolition debris is present. 600 - Excessive demolition debris is present. 601 - Excessive demolition debris is present. 	\$3,500

- 603 - Excessive demolition debris is present.
- 605 - Excessive demolition debris is present.
- 606 - Excessive demolition debris is present.
- 607 - Excessive demolition debris is present.
- 608 - Excessive demolition debris is present.
- 609 - Excessive demolition debris is present.
- 614 - Excessive demolition debris is present.

Seventh Floor

- Hallway - Excessive demolition debris is present.
- 700 - Excessive demolition debris is present.
- 701 - Excessive demolition debris is present.
- 702 - Excessive demolition debris is present.
- 703 - Excessive demolition debris is present.
- 704 - Excessive demolition debris is present.
- 706 - Excessive demolition debris is present.
- 708 - Excessive demolition debris is present.
- 709 - Excessive demolition debris is present.
- 710 - Excessive demolition debris is present.
- 711 - Excessive demolition debris is present.
- 712 - Excessive demolition debris is present.
- 719 - Excessive demolition debris is present.
- 721 - Excessive demolition debris is present.
- 723 - Excessive demolition debris is present.

		<p><u>Eighth Floor</u></p> <ul style="list-style-type: none"> • Hallway - Excessive demolition debris is present. • 820 - Excessive demolition debris is present. • 805 - Excessive demolition debris is present. • 803 - Excessive demolition debris is present. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> • Excessive demolition debris is present. <p><u>Arboretum</u></p> <ul style="list-style-type: none"> • Excessive debris is present. 	
LIGHT/VENTILATION			
1. Habitable Space			
2. Common Hall			
3. Bathroom			
PLUMBING			
1. Plumbing Fixtures	No	<p>504.1 General</p> <p>Required or provided plumbing systems and facilities shall be maintained in accordance with the applicable building code.</p> <p><u>Second Floor</u></p> <ul style="list-style-type: none"> • Pipes attached to hvac unit in pool pump area have rusted creating a safety hazard. 	\$100
2. Privacy			
3. Water heater			
4. Sanitary Drainage			
MECHANICAL/ELECTRICAL			
1. Heating/ Cooling			
2. Flue/Clearances			
3. Service Box	No	<p>604.3 Electrical System Hazards</p> <p>Where it is found that the electrical system in a structure constitutes a hazard to the occupants or the structure by reason of deterioration or damage or for similar reasons, the code official shall require the defects to be corrected to eliminate the hazard.</p>	\$400

		<p><u>Sixth Floor</u></p> <ul style="list-style-type: none"> Panel in closet by elevator is uncovered and has been stripped. Wires are unprotected. <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> Many components to the panel boxes were removed. Large amounts of corrosion were present on the exterior of the boxes. Uncovered and unprotected electrical lines. 	
4. Electrical Equipment			
5. Receptacles			
6. Lighting Fixtures			
FIRE AND SAFETY			
7. Smoke Detectors			
8. Doors	No	<p>702.3 Doors</p> <p>Means of egress doors shall be maintained and, to the extent required by the code in effect at the time of construction, shall be readily openable from the side from which egress is to be made without the need for keys, special knowledge, or effort.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> A door labeled “Fire Door”, has been screwed shut, preventing exit. 	\$100
9. Means of Egress	No	<p>702.1 General</p> <p>A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the International Fire Code.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> Incomplete demolition cleanup. Drywall, carpet, HAVC, scaffolding, metal is preventing a clear unobstructed path to exit. <p><u>Second Floor</u></p> <ul style="list-style-type: none"> Demolition debris is preventing a clear unobstructed path to exit. <p><u>Fourth Floor</u></p> <ul style="list-style-type: none"> Demolition debris is preventing a clear unobstructed path to exit. 	\$3,800

Fifth Floor

- Demolition debris is preventing a clear unobstructed path to exit.

Sixth Floor

- Hallway - Demolition debris is preventing a clear unobstructed path to exit.
- 600 - Demolition debris is preventing a clear unobstructed path to exit.
- 601 - Demolition debris is preventing a clear unobstructed path to exit.
- 603 - Demolition debris is preventing a clear unobstructed path to exit.
- 605 - Demolition debris is preventing a clear unobstructed path to exit.
- 606 - Demolition debris is preventing a clear unobstructed path to exit.
- 607 - Demolition debris is preventing a clear unobstructed path to exit.
- 608 - Demolition debris is preventing a clear unobstructed path to exit.
- 609 - Demolition debris is preventing a clear unobstructed path to exit.
- 614 - Demolition debris is preventing a clear unobstructed path to exit.

Seventh Floor

- Hallway - Demolition debris is preventing a clear unobstructed path to exit.
- 700 - Demolition debris is preventing a clear unobstructed path to exit.
- 701 - Demolition debris is preventing a clear unobstructed path to exit.
- 702 - Demolition debris is preventing a clear unobstructed path to exit.
- 703 - Demolition debris is preventing a clear unobstructed path to exit.
- 704 - Demolition debris is preventing a clear unobstructed path to exit.
- 706 - Demolition debris is preventing a clear unobstructed path to exit.
- 708 - Demolition debris is preventing a clear unobstructed path to exit.
- 709 - Demolition debris is preventing a clear unobstructed path to exit.

		<ul style="list-style-type: none"> • 710 - Demolition debris is preventing a clear unobstructed path to exit. • 711 - Demolition debris is preventing a clear unobstructed path to exit. • 712 - Demolition debris is preventing a clear unobstructed path to exit. • 719 - Demolition debris is preventing a clear unobstructed path to exit. • 721 - Demolition debris is preventing a clear unobstructed path to exit. • 723 - Demolition debris is preventing a clear unobstructed path to exit. <p><u>Eighth Floor</u></p> <ul style="list-style-type: none"> • Hallway - Demolition debris is preventing a clear unobstructed path to exit. • 820 - Demolition debris is preventing a clear unobstructed path to exit. • 805 - Demolition debris is preventing a clear unobstructed path to exit. • 803 - Demolition debris is preventing a clear unobstructed path to exit. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Eastern Stairwell Between Levels 7 & 8</u></p> <ul style="list-style-type: none"> • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Staircase First Floor and Sublevel 1</u></p> <ul style="list-style-type: none"> • The open staircase leading from 1st floor to sub level 1 does not provide a clear unobstructed path to exit. • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Arboretum</u></p> <ul style="list-style-type: none"> • Many glass panes have been shattered. Broken glass, wood, and metal are preventing a clear unobstructed path to exit. 	
10. Fire Equipment	No	<p>704.1 General</p> <p>Systems, devices, and equipment to detect a fire, actuate an alarm, or suppress or control a fire or any combination thereof</p>	\$100

		shall be maintained in an operable condition at all times. No fire suppression system available.	
Pending Total			14,000.00

Inspector: Bradley Shupp

Inspection Date: 01/19/2021





City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: March 16, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH: Kenneth Miller, Interim City Manager

FROM: Nykesha Jackson

RE: **Consideration of appointment to the Riverside Regional Jail Authority.**

PURPOSE: To make an appointment to the Riverside Regional Jail Authority.

REASON:

Current term has expired and an alternate need to be appointed as well.

RECOMMENDATION: Recommend City Council appoint Lionel Lyons, Deputy City Manager as the primary member to the Riverside Regional Jail Authority.

BACKGROUND: The Riverside Regional Jail Authority Board is a seven-member regional jail that oversees the regional jail facility serving the localities of Counties of Charles City, Chesterfield, Prince George and Surry and the Cities of Colonial Heights, Hopewell and Petersburg. The City has one member and one alternate to serve on the board.

COST TO CITY:

BUDGETED ITEM:

REVENUE TO CITY:

CITY COUNCIL HEARING DATE: 3/16/2021

CONSIDERATION BY OTHER GOVERNMENT ENTITIES:

AFFECTED AGENCIES:

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION:

REQUIRED CHANGES TO WORK PROGRAMS:

ATTACHMENTS:

1. Riverside Regional Jail Authority 2021
2. Riverside for lionel lyons 2021

RIVERSIDE REGIONAL JAIL AUTHORITY			
TERMS	APPOINTMENTS	APPOINTED	
10/16/18 - 06/30/22			
10/16/18 - 06/30/22			
	Chairman: Dr. Edwin Daley		
	AUTHORITY:		COMPOSITION:
	City Council Resolution #90-81 adopted 6/5/90		Manager or Administrator of each participating jurisdiction
	TERMS:		DUTIES:
	Four Years		The purpose of this Authority is to operate and maintain the jail in accordance with the provisions of Chapter 726 of the 1990 Acts of the General Assembly of Virginia.

**A RESOLUTION APPOINTING LIONEL LYONS, DEPUTY
CITY MANAGER WITH A TERM ENDING JUNE 30, 2022
TO THE RIVERSIDE REGIONAL JAIL AUTHORITY
BOARD.**

BE IT RESOLVED, by the City Council of the City of Petersburg, that it hereby appoints Lionel Lyons, Deputy City Manager, with a term ending June 30, 2022 to the Riverside Regional Jail Authority Board.